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AGENDA

Pwyllgor PWYLLGOR CYNLLUNIO

Dyddiad ac amser y cyfarfod DYDD MERCHER, 14 HYDREF 2020, 1.30 PM

Lleoliad CYFARFOD O BELL TRWY MS TEAMS

Aelodaeth Cynghorydd K Jones (Cadeirydd)
Cynghorwyr Ahmed, Asghar Ali, Driscoll, Gordon, Hudson, Jacobsen, Jones-Pritchard, Keith Parry, Sattar, Stubbs a/ac Wong

1 Ymddiheuriadau am Absenoldeb

2 Cofnodion

Cymeradwyo cofnodion y cyfarfod a gynhaliwyd ar 16 Medi 2020 fel cofnod cywir.

3 Datgan Buddiannau

I'w gwneud ar ddechrau'r eitem agenda dan sylw, yn unol â Chod Ymddygiad yr Aelodau.

4 Deisebau

Mae deisebau wedi dod i law mewn cysylltiad â'r ceisiadau canlynol yn unol â Rheol 14.2 y Weithdrefn Cyfarfodydd Pwyllgor. Mae'r deisebwyr wedi cael eu cynghori bod ganddynt hawl i siarad ac mae'r ymgeiswyr/asiantau wedi eu cynghori bod ganddynt hawl i ateb:

RHIF CAIS, 19/01956/MJR, 37-39A HEOL Y GADEIRLAN, PONTCANNA

RHIF CAIS, 20/01255/MJR, HEN GWMNI MODUR COLCHESTER A THE THREE BREWERS, COLCHESTER AVENUE, PEN-Y-LAN, CAERDYDD

5 Ceisiadau Rheoli Datblygu

a 19/01956/MJR, 37-39A HEOL Y GADEIRLAN, PONTCANNA

b 20/01255/MJR HEN GWMNI MODUR COLCHESTER A THE THREE BREWERS, COLCHESTER AVENUE, PEN-Y-LAN

c 20/01545/MNR, 171 RAILWAY STREET, SBLOT

- d 20/01190/MJR TIR YN WAKEHURST PLACE, TROWBRIDGE
- e 20/01306/MJR TIR YN BROOKFIELD DRIVE, LLANEIRWG
- 6 Ceisiadau Wedi Eu Penderfynu Gan Bwerau Dirprwyedig – Medi 2020**
- 7 Eitemau Brys (os oes rhai)**
- 8 Dyddiad y cyfarfod nesaf – 18 Tachwedd 2020**

Davina Fiore

Cyfarwyddwr Llywodraethu a Gwasanaethau Cyfreithiol

Dyddiad: Dydd Iau, 8 Hydref 2020

Cyswllt: Kate Rees, 02920 872427, krees@caerdydd.gov.uk

GWE-DARLLEDU

Bydd y cyfarfod hwn yn cael ei recordio â'r bwriad o'i ddarlledu ar wefan y Cyngor yn ddiweddarach. Bydd y cyfarfod cyfan yn cael ei recordio, ac eithrio pan fo eitemau cyfrinachol neu eitemau a eithrir. Caiff copi o'r cyfarfod ei gadw yn unol â pholisi cadw data'r Cyngor.

Os ydych yn gwneud sylw yn y cyfarfod hwn, ystyrir eich bod wedi cydsynio i gael eich ffilmio a/neu eich recordio.

Os oes gennych gwestiynau ynghylch gwe-ddarlledu cyfarfodydd, cysylltwch â'r Gwasanaethau Pwyllgorau trwy ffonio 02920 872020 neu e-bostio [Gwasanethau Democrataidd](#)

Mae'r dudalen hon yn cael ei adael yn wag yn fwriadol

PLANNING COMMITTEE

16 SEPTEMBER 2020

Present: Councillor K Jones(Chairperson)
Councillors Ahmed, Asghar Ali, Driscoll, Gordon, Hudson,
Jacobsen, Jones-Pritchard, Keith Parry, Sattar and Stubbs

85 : APOLOGIES FOR ABSENCE

None

86 : MINUTES

The minutes of the 19 August 2020 were approved and signed as a correct record.

87 : DECLARATIONS OF INTEREST

COUNCILLOR	ITEM	REASON
Keith Parry	20/01108/MJR	Expressed a view on the application.
Driscoll	20/01384/MNR	Spoke as Ward Councillor

88 : PETITIONS

Application no, 20/01108/MJR, ASDA Cardiff, Coryton, Longwood Drive, Whitchurch

Application no, 20/00800/MNR, Land off Mill Road, Tongwynlais

Application no, 20/01384/MNR, Land adjacent to 14 Marshall Close, Danescourt

In relation to the above none of the petitioners spoke.

89 : DEVELOPMENT CONTROL APPLICATIONS

The Committee considered the schedule of development control applications submitted in accordance with the Town and Country Planning Act 1990:

RESOLVED: Pursuant to this Committee's delegated powers the following development control applications be determined in accordance with the recommendation set out in the reports of the Director of Planning, Transport and Environment, subject to any further amendments as detailed below and notification be given of the decisions in accordance with Section 70 of the Town and Country Planning Act 1980 or Section 74 of the Planning (Listed Building & Conservation) Act 1980:

APPLICATIONS GRANTED

20/01108/MJR – WHITCHURCH/TONGWYNLAIS

ASDA CARDIFF, CORYTON, LONGWOOD DRIVE

Proposed engineering works to Longwood Drive and the ASDA access highway and car park arrangements, enabling access to the proposed Velindre Cancer Centre.

Subject to an additional Recommendation 1 to read:

'That planning permission be GRANTED subject to the Local Planning Authority receiving a confirmation letter from the Welsh Ministers that the decision has not been called in, and authorises the Local Planning Authority to grant planning permission pursuant to the Direction dated 1 July 2020 made under Article 18 of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012.

20/00834/MNR – WHITCHURCH/TONGWYNLAIS

66 PARK ROAD

Ground floor and first floor rear extensions hip-to-gable and dormer roof extensions and the conversion into 4 flats

Subject to an amendment to Condition 2 to read:

The development shall be carried out in accordance with the following approved plans.

- 20-05 (3) Sheet no. 5 – Front Elevation Proposed
- 20-05 (3) Sheet no. 5a – Rear + Side Elevation Proposed
- 20-05 (3) Sheet no. 6 – Ground + First Floor Proposed
- 20-05 (3) Sheet no. 7 – Section Proposed
- 20-05 (3) Sheet no. 8 – 3D section
- 20-05 (4) Sheet no. 9 – Site Plan

Reason: To ensure satisfactory completion of the development and in line with the aims of Planning Policy Wales to promote an efficient and effective planning system.

Subject to an amendment to Condition 5 to read:

5. Notwithstanding the details illustrated on Plan Ref 20-05 (3) Sheet no.5 and 20-05 (4) Sheet no.9 and prior to beneficial occupation of the flats hereby approved, details including the siting, design and materials of secured and covered cycle storage for a minimum of 8 cycles shall be submitted and approved in writing by the Local Planning Authority. The cycle storage facilities as approved shall be retained thereafter and shall be used for no other purpose.

Reason: To ensure that secure and under cover cycle parking facilities are provided to encourage other modes of transport over the private car in accordance with Policy T5 of the Local Development Plan.

Subject to an amendment to Condition 6 to read:

6. Notwithstanding the details illustrated on Plan Ref 20-05 (3) Sheet no.5, 20-05 (3) Sheet 5a and 20-05 (4) Sheet no.9 and prior to beneficial occupation of the flats hereby approved, details of the proposed refuse storage facilities (including general waste, recycling and food waste) and including its siting, design and materials shall be submitted and approved in writing by the Local Planning Authority. The approved details shall be retained for the storage of refuse only thereafter and for no other purpose.

Reason: To secure and orderly form of development to protect the amenities of the area in accordance with Policy W2 of the Local Development Plan.

20/01384/MNR – LLANDAFF

LAND ADJACENT TO 14 MARSHALL CLOSE
Proposed erection of attached dwelling

Subject to the deletion of existing condition 12.

Subject to amendments to Condition 3, 4 & 5 to read

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no windows shall be inserted in the side elevation facing 16 Marshall Close or the rear first floor elevation, other than those hereby approved.
4. The first floor window on the side elevations facing 16 Marshall Close shall be glazed with obscure glass and non-opening below a height of 1.7 metres above internal floor level and thereafter be so maintained.
5. Prior to development commencing, details showing the provision of a minimum of 2 cycle parking including the proposed storage facility and including appropriate access for the cycles from the highway, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use. The cycle parking spaces and access shall be maintained thereafter and shall not be used for any other purpose.

Subject to an additional Condition 14 to read:

Notwithstanding the details illustrated on Plan Ref PP/600/C and PP/700/A, the rear facing first floor window shall be of an Oriel design that shall be non-opening and include obscure glass to its south eastern elevation to prevent overlooking of the rear garden of no. 14 Marshall Close. The details of the window shall be submitted to and

approved in writing by the Local Planning Authority prior to the beneficial occupation of the dwelling hereby approved.

APPLICATIONS GRANTED ON EXECUTION OF A PLANNING OBLIGATION PURSUANT TO SECTION 106, TOWN & COUNTRY PLANNING ACT 1991.

20/00800/MNR – WHITCHURCH/TONGWYNLIAS

LAND OFF MILL ROAD

Erection of 4no detached dwelling houses, new access and associated development.

Subject to an additional Condition 18 to read:

‘Notwithstanding the submitted plans, prior to the commencement of development further details of the junction between the proposed access road and the highway, to include tactile paving/dropped kerbs, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to beneficial occupation’.

90 : APPLICATIONS DECIDED BY DELEGATED POWERS - AUGUST 2020

Noted

91 : URGENT ITEMS (IF ANY)

None

92 : DATE OF NEXT MEETING - 14 OCTOBER 2020

The meeting terminated at 5.18 pm

LOCAL MEMBER, AM & MP OBJECTIONS & PETITION OF OBJECTION

COMMITTEE DATE: 14/10/2020

APPLICATION No. **19/01956/MJR** APPLICATION DATE: 25/07/2019ED: **RIVERSIDE**

APP: TYPE: Full Planning Permission

APPLICANT: Cathedral Gardens Ltd

LOCATION: 37-39A CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9XF

PROPOSAL: DEMOLITION OF 39A CATHEDRAL ROAD AND REAR ANNEXES OF 37-39 CATHEDRAL ROAD. CONVERSION OF 37 - 39 CATHEDRAL ROAD TO RESIDENTIAL USE, CONSTRUCTION OF 2 NEW APARTMENT BUILDINGS AND 3 NEW TOWNHOUSES, THE RETENTION OF OUTBUILDING IN CLASS B1 USE AND ASSOCIATED CAR PARKING, LANDSCAPING, ACCESS AND ANCILLARY WORKS

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding legal agreement with the Council under the provisions of a **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this Resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraphs 9.4 and 9.5 of this report, planning permission be **GRANTED** subject to the following conditions :

PART1 - TIME LIMIT AND PLANS

1. The development permitted shall be begun before the expiration of five years from the date of this planning permission.
Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990.

PLAN SPECIFICATION

2. The development shall be carried out in accordance with the following approved plans and details unless otherwise expressly required by the ensuing conditions:
 - a) Site Location Plan (drawing no SL00)
 - b) Existing Site Plan (drawing no SL01)
 - c) Existing Elevations 1 of 2 (drawing no PE100)
 - d) Existing Elevations 2 of 2 (drawing no PE101)
 - e) Existing Basement & GF Plans (drawing no PP100 Rev A)
 - f) Existing FF&SF Plans (drawing no PP101 Rev A)
 - g) Basement & Ground Floor Demolition Plans (drawing no DP11)
 - h) First & Second Floor Demolition Plans (drawing no DP12)
 - i) Existing outhouse office building (drawing no PP 1000)
 - j) Proposed Site Plan (drawing no SL102 Rev I)

- k) Context Site Plan (drawing no SL103 Rev E)
- l) Proposed GF Plan (drawing no PP101 Rev E)
- m) Proposed 1F Plan (drawing no PP102 Rev D)
- n) Proposed 2F Plan (drawing no PP103 Rev C)
- o) Proposed 3F Plan (drawing no PP104 Rev E)
- p) Proposed Roof Plan (drawing no PP105 Rev A)
- q) Proposed outhouse office building (drawing no PP1001 Rev A)
- r) Block C Elevations (drawing no PE10 Rev C)
- s) Block A Elevations (drawing no PE101 Rev F)
- t) Townhouse Elevations (drawing no PE102 Rev C)
- u) Block B Elevations (drawing no PE103 Rev D)
- v) Proposed Talbot Street Elevation (drawing no PE104 Rev D)
- w) Proposed Cathedral Rd Street Elevation (drawing no PE105 Rev D)
- x) Proposed Rear Lane Elevation (drawing no PE106 Rev D)
- y) Aerial View (drawing no PE201 Rev C)
- z) 3D View Down Talbot St (drawing no PE202 Rev C)
- aa) Site Sections to Properties along Ryder St (drawing no PS01 Rev F)
- bb) Site Section (drawing no PS03 Rev B)
- cc) Proposed Section Block A – Section A (drawing no PS04 Rev A)
- dd) Proposed Section Block A – Section B & C (drawing no PS05 Rev A)
- ee) Site Section (drawing no PS107 Rev D)
- ff) Block A – Stone Cladding Height / Coursing (drawing no CD02)
- gg) Typical External Wall Types (drawing no CD03 Rev A)
- hh) Block C – Window Schedule (drawing no 30 C01 Rev B)
- ii) Flood Risk Assessment (Austin Partnership, dated July 2020 Revision E Final)
- jj) Proposed Site Plan and Retaining Wall Details (drawing no 10 Rev C)
- kk) Proposed Drainage Plan (drawing no 11 Rev B)
- ll) Cathedral Gardens Drainage Strategy and Design Statement (ref CDGA-9841- Rev P1)
- mm) Proposed Drainage Layout (drawing no 100 Rev P5)
- nn) Tree Survey and Tree Constraints Plan (Treescene Arboricultural Consultants, 3rd June 2019)
- oo) Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan for 30 Cathedral Rd (Treescene dated 17th Sept 2020)
- pp) Tree Protection Plan (09/2020)
- qq) Arboricultural Impact Assessment drawing (09/2020)
- rr) Diagram 1. No dig construction method
- ss) Landscape Specification and Management Plan (TDA updated August 2020)
- tt) Detailed Soft Landscape Proposals (drawing no TDA.2518.01 Rev 1 03.09.20)
- uu) Tree Pit in Rain Garden (drawing no TDP.2518.02)
- vv) Tree Pit in Soft Landscape (drawing no TDA.2305.03)
- ww) Survey for Bats and Nesting Birds, prepared by David Clements Ecology Ltd, dated February 2020

The following drawings are not approved and do not form part of the permission:

- xx) Block A – Partial Plan, Section & Elevation (drawing no PS06)
- yy) Timber Window Details (drawing no CD01 Rev B)

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt.

PART 2: CONDITIONS TO BE DISCHARGED

ARCHITECTURAL DETAILS

3. Notwithstanding the provisions of condition 2, no above-ground development, except for demolition, shall commence until a scheme showing the architectural detailing of the Cathedral Road and Talbot Street elevations of Block A and the Talbot Street elevation of the Townhouses has been submitted to and approved in writing by the LPA. The development shall be carried out in accordance with the approved details prior to occupation of the development hereby permitted.

Reason: To ensure a satisfactory finished appearance to the building and to ensure that the character of the conservation area is preserved.

WINDOWS AND INSET BALCONIES

4. Notwithstanding the provisions of condition 2, details of the proposed windows and doors within the retained villas (to a minimum scale of 1:10 including elevations; vertical and horizontal sections with larger scale details to sufficiently describe the proposed units and how they compare to the existing windows) and details of the proposed inset balconies of the retained villas shall be submitted to and approved in writing by the Local Planning Authority prior to the implementation of the conversion works within the retained buildings. The development shall be carried out in accordance with the approved details prior to occupation of the retained villas.

Reason: To ensure that the character of the conservation area is preserved or enhanced.

MATERIALS

5. Notwithstanding the provisions of condition 2, no above-ground development, except for demolition, shall commence until a scheme and samples of the external finishing materials (to also include a sample panel of no less than 1m x1m of the natural stone, brickwork and mortar proposed for Block A which shall be made available to the Local Planning Authority for inspection on Site) have been submitted to and approved in writing by the Local Planning Authority. For the avoidance of doubt, the stone cladding proposed shall constitute natural Bath stone and not reconstituted stone, and the bricks permitted in discharge of this condition for Block A, Block B and the townhouses shall all be imperial, a stock brick (as opposed to wire-cut) and laid in Flemish bond. The development shall be carried out in accordance with the approved details prior to beneficial occupation of the development hereby permitted. Reason: To ensure a satisfactory finished appearance to the development.

EXISTING outhouse/ OFFICE BUILDING

6. Notwithstanding the provisions of condition 2, details of the bi-fold timber garage doors proposed within the existing outhouse/ office building, to a minimum scale of 1:20 and showing the doors in their 'folded' and closed position, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details prior to beneficial occupation of any of the residential units hereby permitted. Reason: To ensure a satisfactory finished appearance to the development.

BOUNDARY TREATMENT

7. Notwithstanding the provisions of condition 2, no above-ground development, except for demolition, shall commence until a scheme for the retention and repair of the existing stone boundary wall has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include, but not be limited to, details of proposed new railings, new stone piers and new gates and details of how the works will take place without harm resulting to trees proposed for retention or proposed new trees. The development shall be carried out in accordance with the approved details prior to beneficial occupation of the development hereby permitted.
Reason: To ensure a satisfactory finished appearance to the development.

REFUSE STORAGE

8. Notwithstanding the provisions of condition 2, no above-ground development, except for demolition, shall commence until a scheme showing details (including plans, elevations and proposed materials) of the proposed refuse storage facilities for the townhouses and office building have been submitted to and approved in writing by the Local Planning Authority. The refuse storage facilities approved in discharge of this condition and the refuse facilities for Blocks A, B and C detailed on the Proposed Site Plan (drawing no SL102 Rev I) shall be provided before the development is brought into beneficial use and shall be thereafter retained for future use. No waste shall be stored within the garden areas fronting Cathedral Road at any time and the access paths from the communal bin store to the kerbside for collection shall be at least 1.5m wide, clear of obstruction and of a smooth surface with no steps.
Reason: To ensure appropriate waste management and ensure a satisfactory finished appearance to the development.

FOOTWAY IMPROVEMENTS

9. Prior to the beneficial occupation of the development hereby permitted, a scheme of environmental improvements to the footway on Cathedral Road, Talbot Street, and to the service lane to the rear of the site for a distance equating to the perimeter of the site, shall be provided in accordance with a scheme of detail which shall first have been submitted to and agreed in writing by the local planning authority. The scheme shall address, but not be limited to, matters of site access, footway repairs, resurfacing of the service lane, including as required the renewal or resetting of sunken or damaged paving, kerbs, channels and edging, lighting, and signing as may be

required, and the provision of a drop kerb onto Talbot Street to facilitate refuse collection.

Reason: To ensure the reinstatement of the adjacent public highway in the interests of highway and pedestrian safety and to facilitate access to the proposed development.

REAR ACCESS GATE/ JUNCTION

10. Notwithstanding the provisions of condition 2, no above-ground development, except for demolition, shall commence until details showing the access with the rear lane and how the vehicle entry gate will operate shall be submitted to and approved in writing by the Local Planning Authority, to include information on how pedestrians and cyclists will be able to gain suitable access at this location. The approved details shall be implemented prior to beneficial occupation of the development hereby permitted.

Reason: To ensure that adequate provision is made for pedestrians, cyclists and vehicles.

GROUND GAS PROTECTION

11. Prior to the commencement of the construction phase of the development hereby permitted, a scheme to investigate and monitor the site for the presence of gases* being generated at the site or land adjoining thereto, including a plan of the area to be monitored, shall be submitted to and approved in writing by the Local Planning Authority. Following completion of the approved monitoring scheme, the proposed details of appropriate gas protection measures to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site shall be submitted to and approved in writing by the Local Planning Authority. If no protection measures are required then no further actions will be required. All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required. * 'Gases' include landfill gases, vapours from contaminated land sites, and naturally occurring methane and carbon dioxide, but does not include radon gas. Gas Monitoring programmes should be designed in line with current best practice as detailed in CIRIA 665 and or BS8485 year 2007 Code of Practice for the Characterization and Remediation from Ground Gas in Affected Developments.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

CONTAMINATED LAND MEASURES – ASSESSMENT

12. No development shall take place, except for demolition, until an assessment of the nature and extent of contamination and a report of its findings is submitted to and approved in writing by the Local Planning Authority. This assessment shall be carried out by or under the direction of a suitably qualified competent person * in accordance with BS10175 (2011) Code of Practice for the Investigation of Potentially Contaminated Sites and shall

assess any contamination on the site, whether or not it originates on the site. The report of the findings shall include:

- (i) an intrusive investigation to assess the extent, scale and nature of contamination which may be present
- (ii) an assessment of the potential risks to: human health, groundwaters and surface waters, adjoining land, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, ecological systems, archaeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and justification for the preferred remedial option(s).

All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (2012), unless the Local Planning Authority agrees to any variation. * A 'suitably qualified competent person' would normally be expected to be a chartered member of an appropriate professional body (such as the Institution of Civil Engineers, Geological Society of London, Royal Institution of Chartered Surveyors, Institution of Environmental Management) and also have relevant experience of investigating contaminated sites.

Reason: To ensure that information provided for the assessment of the risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems is sufficient to enable a proper assessment in accordance with policy EN13 of the Cardiff Local Development Plan.

CONTAMINATED LAND MEASURES– REMEDIATION & VERIFICATION PLAN

13. No development shall commence, except for demolition, until a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme shall ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation. All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document 'Land Contamination: A guide for Developers' (July 2012), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

CONTAMINATED LAND MEASURES – REMEDIATION AND VERIFICATION

14. The remediation scheme approved by the above condition shall be fully undertaken in accordance with its terms prior to the occupation of any part of the development hereby permitted. The Local Planning Authority shall be given two weeks written notification of commencement of the remediation scheme works. Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out shall be submitted to and approved in writing by the Local Planning Authority. All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WAG / EA guidance document ' Land Contamination: A guide for Developers' (July 2012), unless the Local Planning Authority agrees to any variation.

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

CONTAMINATED LAND MEASURES – UNFORSEEN CONTAMINATION

15. In the event that contamination is found at any time when carrying out the approved development that was not previously identified, it shall be reported in writing within 2 days to the Local Planning Authority, all associated works shall stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been submitted to and approved in writing by the Local Planning Authority. An investigation and risk assessment shall be undertaken and, where remediation is necessary, a remediation scheme and verification plan shall be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme, a verification report shall be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be submitted to the LPA for approval within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

IMPORTED SOIL

16. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with

the relevant Code of Practice and Guidance Notes. Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale which shall be first submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced.

IMPORTED AGGREGATES

17. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale which shall be first submitted to and agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

USE OF SITE WON MATERIALS

18. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

CEMP

19. Prior to the commencement of development including any works of demolition, a Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority. The CEMP shall include details of site hoarding and enclosure, site access, the parking of vehicles of site operatives and visitors, loading and unloading of plant and materials, a plan showing the location of the storage of plant and materials (which shall avoid any areas proposed for attenuation and SuDS features and harm to trees), wheel washing facilities, measures to control the emission of dust and dirt during demolition and construction and a scheme for the re-use/recycling/disposal of waste resulting from demolition and construction works. The CEMP shall be adhered to throughout the demolition and construction period. Reason: To manage the impact of construction in the interests of highway safety, protection of the environment and public amenity.

AIR QUALITY ASSESSMENT

20. No above ground development shall take place, except for demolition, until an air quality assessment and scheme of any necessary mitigation measures for the operational phase of the development has been submitted to and approved in writing by the Local Planning Authority. The assessment shall be based on an approved Scope of Works and Methodology for the assessment of air quality for the operational phase which shall be submitted to and approved in writing by the Local Planning Authority in partial discharge of this condition. The development shall be completed in accordance with the approved details prior to beneficial occupation of the development hereby permitted.

Reason: To ensure that the amenities of future occupiers are protected.

ROAD TRAFFIC NOISE

21. Prior to the commencement of above ground development, except for demolition, a scheme shall be submitted to and approved in writing by the Local Planning Authority to provide that all habitable rooms exposed to external road traffic noise in excess of 63 dBA LAeq, 16 hour during the day [07.00 to 23.00 hours] and 57 dBA LAeq, 8 hour at night [23.00 to 07.00 hours] shall be subject to sound insulation measures to ensure that all such rooms achieve an internal noise level of 40 dBA LAeq 16 hour during the day (0700 – 2300) and 35 dBA LAeq, 8 hour at night (2300 – 0700). Any private rear garden (excepting terraces or balconies to any apartment) shall be designed to provide an area which is at least 50% of the area for sitting out where the maximum day time noise level does not exceed 55 dBA LAeq 16 hour (0700-2300). No habitable room shall be occupied until the approved sound insulation and ventilation measures (where necessary) have been installed or the rooms designed to meet internal ambient noise level of 40dB LAeq, 16 hours during the day (0700 – 2300) and 35dB LAeq, 8 hour at night (2300 – 0700).

Reason: To ensure that the amenities of future occupiers are protected.

CYCLE PARKING

22. Notwithstanding the provisions of condition 2, details of cycle parking shall be submitted to and approved in writing by the Local Planning Authority and the approved details shall be fully implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles.

PART 3: COMPLIANCE CONDITIONS

BATS AND BIRD MITIGATION AND ENHANCEMENT

23. The recommendations in respect of bats set out in paragraphs 5.1.1 to 5.1.16 (inclusive) and in respect of nesting birds set out in paragraphs 5.21 to 5.2.4 (inclusive) of the Survey for Bats and Nesting Birds, prepared by David Clements Ecology Ltd, dated February 2020 shall be implemented in full accordance with the approved details and the features shall be retained and maintained during the lifetime of the development.

Reason: To secure the protection of bats, which are European Protected Species, in accordance with Regulation 9 of the Conservation of Habitats and Species Regulations 2017 and in accordance with policy EN7 of the adopted Cardiff Local Development Plan (January 2016).

TREE PRESERVATION AND LANDSCAPE IMPLEMENTATION

24. All trees within the site shown for retention on the plan submitted with the application shall be preserved and maintained in accordance with the approved details and no development, including demolition, shall commence and no equipment, plant or materials shall be brought onto the site for the purposes of development until the trees shown for retention have been protected in accordance with the approved details. The hard and soft landscape works shall be carried out in accordance with the approved details prior to the beneficial occupation of any part of the development or in accordance with a programme agreed in writing by the Local Planning Authority in discharge of this condition. Any retained or planted trees or plants which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or (in the opinion of the Local Planning Authority) otherwise defective, shall be replaced in the planting season following their death with others of the same size and species and to the same specification as approved, unless the Local Planning Authority gives written consent to any variation in discharge of this condition.

Reason: To maintain and improve the appearance of the area in the interests of visual amenity, and because the trees are of value in the local environment and should be protected and maintained in the interests of visual amenity.

FOUL AND SURFACE WATER DRAINAGE

25. No dwelling hereby permitted shall be occupied until the drainage scheme for the site has been completed in accordance with the submitted details and the foul and surface water drainage (including SuDS) shall be retained and maintained in perpetuity. No new connection shall be made to the brick work sewer in Cathedral Rd.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment/controlled waters.

ELECTRIC VEHICLE CHARGING

26. Prior to the beneficial occupation of any dwelling hereby permitted, a scheme for the provision of electric vehicle charging shall be implemented, which shall include – as a minimum – that 10% of parking bays designated for the flats shall be provided with dedicated electric vehicle weatherproof charging points and that each townhouse shall be provided with one electric vehicle dedicated charging point or installation of passive wiring to allow a future charging point connection.

Reason: To promote the use of electric vehicles in line with the Council's Guidance for Developers.

CAR PARKING

27. The car parking spaces shall be laid out in accordance with the approved plans and a maximum of 1 car parking space shall be assigned to each townhouse hereby permitted.

Reason: To ensure car parking is maintained at or below the approved maximum level in support of adopted policy.

PREVENTION OF ROOF TERRACES

28. The proposed green roof of Block B shall not be used at any time as a roof terrace and access shall only be permitted to the green roof for the purpose of maintenance and means of escape in an emergency.

Reason: To protect the amenities of adjoining neighbours.

NESTING BIRDS

29. No removal of hedgerows, trees, scrub or shrubs shall take place between 1st March and 15th August inclusive unless otherwise approved in writing by the Local Planning Authority.

Reason: To avoid disturbance to nesting birds which are protected under the Wildlife and Countryside Act 1981: Part 1 1(1)(b), it is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built.

PRIVACY MEASURES

30. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order amending, revoking or re-enacting that Order), the following measures shown on the plans identified in condition 2 shall be implemented prior to occupation of the development hereby permitted and shall be retained thereafter:

- Block B – a 1.7m high privacy screen shall be provided to the end balconies at ground, first and second floors on the side elevation facing Ryder St dwellings
- Block B – a full height privacy screen shall be provided to the communal walkways at ground, first and second floors on the side elevation facing Ryder St dwellings
- Block B – the 3 no windows shown on the rear elevation shall be obscured and fixed
- Raised communal garden – a min 1.75m balustrade shall be provided as a means of enclosure and the proposed hedge planted behind that
- The gated external passageway running to the side of flat C03 shall be accessed for maintenance only and shall not be used as a common shared footway by future residents
- The bedroom and bathroom windows on the side elevation of flat C01 (shown on elevation 5 of drawing no PE10C) and the bathroom window of flats C02, C06 and C10 (shown on SW elevation of drawing no PE10C) shall be obscurely glazed and retained as such in perpetuity.

Reason: To protect the amenities of future residents and adjoining neighbours.

FINISHED FLOOR AND SITE LEVELS AND FLOOD WALL

31. The development hereby permitted shall be carried out in accordance with the Flood Risk Assessment (Revision E). The Finished Floor Level of the ground floor of the townhouses, Block A and Block C and the ground levels of the pedestrian and vehicular accesses, car park and amenity space across the site shall be finished in accordance with the levels shown on the Proposed Site Plan (drawing no SL102Rev1), Proposed Site Plan and Retaining Wall Details' (drawing no 10 C) and the conclusions of the Flood Risk Assessment (Revision E). The retaining wall and raised access to the car park, which is designed to protect the car parking area from flooding, shall be implemented in accordance with the approved plans prior to occupation of the development hereby permitted and shall be maintained and retained for the lifetime of the development.

Reason: In line with the recommendations of the approved Flood Risk Assessment (Revision E) to mitigate flood risk.

FLOOD ACCEPTABILITY MEASURES

32. Prior to beneficial occupation of the development hereby permitted, new residents shall be advised of the flood risks and consequences, flood emergency plans and procedures, and the NRW early flood warning alert system. Flood emergency plans and procedures shall be put in place for future occupiers prior to occupation of the first residential unit.

Reason: To ensure that new residents are aware of the potential for the property to be affected in the scenario of an extreme flooding event.

RECOMMENDATION 2: The developer is respectfully reminded of condition 2 attached to Conservation Area Consent 16/001818/MJR (CAC, which requires that no Demolition shall take place until such time as evidence is provided to the Local Planning Authority that a Contract has been let for the redevelopment of the site in accordance with a valid planning permission.

Reason: Demolition in isolation would adversely affect the character and appearance of the Cathedral Road Conservation Area and may result in a gap site to the further detriment of that area.

RECOMMENDATION 3 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 4 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 5: That the developer be aware of the advice from the Operational Manager Transportation that future residents of the site would not be eligible for residential parking permits on the local roads adjacent to the site.

RECOMMENDATION 6: The highway works condition and any other works to existing or proposed adopted public highway are to be subject to an agreement under Section 38 and/or Section 278 Highways Act 1980 between the developer and the Local Highway Authority

RECOMMENDATION 7: That the developer be advised of the following advice from NRW which applies to the development hereby permitted **including any works of demolition:**

Warning: An European protected species (EPS) Licence is required for this development. This planning permission does not provide consent to undertake works that require an EPS licence. It is an offence to deliberately capture, kill or disturb EPS or to damage or destroy their breeding sites or resting places. If found guilty of any offences, you could be sent to prison for up to 6 months and/or receive an unlimited fine. To undertake the works within the law, you can obtain further information on the need for a licence from Natural Resources Wales on 0300 065 3000 or at

<https://naturalresources.wales/permitsandpermissions/protected-species-licensing/european-protected-specieslicensing/information-oneuropean->

[protected-species-licensing/?lang=en](#).

Development should not be commenced until the Applicant has been granted a licence by Natural Resources Wales pursuant to Regulation 55 of the Conservation of Habitats and Species Regulations (2017) authorizing the specified activity/development to go ahead or Natural Resources Wales has informed the applicant in writing that such a licence is not required. Please note that any changes to plans between planning consent and the licence application may affect the outcome of a licence application. We advise recipients of planning consent who are unsure about the need for a licence to submit a licence application to us.

RECOMMENDATION 8: The developer/ applicant is advised of the following advice from DCWW: The Applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.co. The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dwr Cymru Welsh Water on 0800 085 3968 to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

RECOMMENDATION 9: The applicant be advised that the developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications. Individual 140L/240L wheeled bins can be purchased directly via waste management at (029) 2071 7500. Bulk supply of 140L wheeled bins, or 660L/1100L wheeled bins should be ordered via our bin order form located at www.cardiff.gov.uk/wasteplanning.

RECOMMENDATION 10: The applicant is advised that section 3.25 of Planning Policy Wales states that the land use planning system should take account of the conditions which are essential to the Welsh language and in so doing contribute to its use and the Thriving Welsh Language well-being goal. In this context and with regard to the Welsh Language (Wales) Measure 2011, it is recommended that: (1) developments adopt a Welsh name that is consistent with the local heritage and history of the area, (2) during the construction phase, on site marketing information (i.e. text on construction hoardings / flags / banners – as consented) be provided bilingually and (3) for commercial developments, shopfront / premises signage be provided in Welsh or bilingually. Where bilingual signage is provided, Welsh text must not be treated less favourably in terms of size, colour, font, prominence, position or location (it is recognised that Welsh translation does not extend to

company / business names). Cardiff Council's Bilingual Cardiff team (BilingualCardiff@cardiff.gov.uk) can provide advice on unique and locally appropriate Welsh names for developments, bilingual marketing / branding and bilingual signage.

RECOMMENDATION 11: Prior to the commencement of development, the developer shall notify the Local Planning Authority of the commencement of development, and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure) (Wales) (Amendment) Order 2016.

RECOMMENDATION 12: That the developer be advised of the advice received from South Wales Police.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

1.1 This is an application for full planning permission, as amended, for the demolition of the former vicarage building at 39A Cathedral Rd and the rear annexes of 37-39 Cathedral Rd, the conversion of 37 – 39 Cathedral Rd to residential use (Block C), the construction of 2 new purpose built apartment buildings (Blocks A and B) and 3 new townhouses, the retention of an outbuilding in Class B1 use and associated car parking, landscaping, access, sustainable drainage features and ancillary works.

1.2 As amended, the development would deliver 33 flats (16 x 1 bed, 17 x 2 bed) and 3 x 4 bed townhouses, in a scheme comprising:

- The demolition of the 2 storey former vicarage building at 39A Cathedral Rd and the rear annexes of 37 and 39 Cathedral Rd
- Conversion of the 3 storey historic villas at 37-39 to provide 11 new flats with landlord area (Block C), with alternations including inset balconies, a new rooflight and window repairs and alterations
- New build apartments (Block A) over 3 - 4 floors with a lower ground floor to provide 12 flats fronting Cathedral Road, incorporating bin, bulky waste and cycle store (14 spaces) with front entrance off Cathedral Rd and rear access from Talbot St
- Three townhouses (3 storey) fronting Talbot Street, with front and rear gardens, first floor roof terraces and bike sheds, front doors and bin store accessed off Talbot St and rear access
- New build apartments (Block B) with 10 flats provided over 3 - 4 floors with a lower ground level for access and undercroft car parking, accessed via Cathedral Rd and Talbot St, with balconies, a private set-back roof terrace and a green roof (non-accessible)
- Ramped/undercroft car parking with stepped and lift access and providing 23 no car parking spaces and a further 42 no cycle parking spaces (total of 56 cycle parking spaces)
- A landscaping scheme, including a central landscaped deck, amenity spaces along the Cathedral Rd frontage, to the rear of the block B and the townhouses, sustainable drainage features (including rain gardens and soakaways) and planting

- Tree proposals, comprising the loss of 4 no category 'C' individual Conservation Area trees T4, T8, T9, T10, 1 no category 'C' group of Conservation Area trees G7, the retention of the large TPO purple beech T11 at the rear of the site and 'B' category tree T3 and 'C' category trees T2, T5, T6 on the Cathedral Rd frontage and the planting of x7 new trees (including x1 very large tree (*Quercus palustris*), x2 large trees (*Acer x freemanii* 'Armstrong'), X2 medium trees (*Ligustrum japonicum*) and x2 small trees in planters (*Cornus controversa* 'Variegata')
 - The retention of the garage building in Class B1 use and proposals for a bi-fold timber garage door to be installed in front of the existing doors.
- 1.3 The ramped / undercroft car park would be provided to the rear of the site, accessed via a ramp to an adopted service lane that runs between Talbot St and Hamilton St. Pedestrian access would be via Cathedral Rd, Talbot St and the rear lane. Access from the basement car park to the residential accommodation would be secured both by a platform lift and stairs. A total of 23 car parking spaces would be provided. 56 cycle parking spaces would be provided for the apartments (50 bedrooms in total) and each town house would have a bike shed in their rear garden. A management company would be set up to deal with maintenance and upkeep of internal and external communal areas.
- 1.4 The planning application, as initially submitted, proposed 51 flats and comprised:
- Conversion of No's 37-39 to provide 11 new flats (Block C)
 - New build apartments (Block A) over 4 storeys to provide 23 flats fronting Cathedral Road and Talbot Street, incorporating bin and cycle store (80 spaces)
 - New build apartments (Block B) over 3 – 5 storeys to provide 17 flats
 - Surface level car parking (26 spaces) accessed via rear lane and 80 cycle parking spaces
 - More limited amenity space and SuDS, and a landscaping scheme that proposed the loss of all bar 3 trees on site and a single replacement tree.
- 1.5 Five sets of amended plans/additional have been submitted and subject to public consultation (highlighted in bold below) as officers sought amendments to reduce the scale and massing of development, amend the architectural form and detailing, and resolve technical issues and inconsistencies in respect of trees and landscaping, flood-risk and SuDS. A further submission was submitted to DCWW, NRW and drainage colleagues only to progress drainage matters. The description has been amended to reflect the amended schedule of accommodation.
- 1.6 The **August 2019 submission** solely encompassed the submission of the Exploratory Geotechnical and Geo-environmental Investigation (April 2019) as additional information.
- 1.7 The **December 2019 submission** included the following key amendments:
- Reduction in the number of apartments from 51 flats to 33 flats and 3 townhouses

- Removal of the annex to block A and its scale and massing reduced to reflect the villas at no 37 – 39. Amendment to gable pitch to reflect adjoining properties and Bath stone bays introduced. Footprint amended to reflect Victorian villas in terms of plot width, rhythm and depth into the site
- A terrace of 3 contemporary townhouses with their own gardens introduced to the rear of block A, in place of the previously proposed annexe, with a reduced scale and massing
- Block B detached from the existing Villas at 37 – 39 Cathedral Rd, and reduced in length and height (with main roof sitting below the ridge line of the existing villas)
- The amenity space to the rear of block B increased in size and a central raised landscape deck introduced
- Amended landscape proposals, including the continued loss of all bar 3 trees on site and x 8 new trees
- Amended SuDS proposals and a revised FCA (Revision D)
- Creation of ramped/basement car parking area and reduction in parking spaces from 26 to 24 and 53 cycle parking spaces.

1.8 Whilst not subject to public consultation, a January 2020 submission – comprising an amended drainage ‘Proposed Site and Ground Floor Plan’ (19.4340 02 Rev H) and letter was submitted to address the NRW concerns raised following the December 2019 submission, and issued to NRW, DCWW and the Council’s drainage team only. Additional information on flood compensation storage (letter dated 24/02/20) was submitted to address NRW concerns and issued to NRW and the Council’s drainage team.

1.9 The **February 2020** submission included the following key amendments:

- Removal of roof lights from Block A and provision of architectural details
- Amended landscaping plan (rev B) – removal of all trees on site except for the copper beech and 11 new trees
- Amended SuDS proposals
- Car parking spaces reduced from 24 to 23 spaces, with 55 cycle parking spaces and a platform lift
- Revised Survey for Bats and Nesting Birds (February 2020)

1.10 The **March 2020** amended plans submission included the following amendments:

- architectural detailing
- increase to 56 cycle parking spaces
- Amended landscaping and SuDS details.

1.11 The **September 2020** amended plans submission included the following amendments:

- Amended tree and landscaping, FCA and SuDs details to address inconsistencies and conflicts between built development, trees and SuDS
- Minor amendments to buildings, including addition of lift shaft overruns to Block A and B, architectural detailing and amendments to address privacy matters and drawing inconsistencies.

- 1.12 The application is supported by the following documents, as amended:
- Application drawings, including drainage and SuDS details, landscape proposals, architectural details (timber windows, stone cladding, external wall types, window schedule, cycle parking details)
 - a Pre-Application Consultation (PAC) report (Savills, July 2019)
 - Design and Access Statement (DAS), as amended (John Wotton Architects, Revision L)
 - Planning Statement (Update) (Savills, November 2019)
 - Schedule of Accommodation (revised 15.11.19)
 - Exploratory Geotechnical and Geo-environmental Investigation (Earth Science Partnership, April 2019, ref ESP.7095b.3143)
 - Flood Risk Assessment (Austin Partnership, Revision E, July 2020)
 - Transport Summary Note (Update) (Savills, November 2019)
 - Tree Survey and Tree Constraints Plan (Treescene Arboricultural Consultants, 3rd June 2019)
 - Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan for 30 Cathedral Rd (Treescene dated 17th Sept 2020)
 - Tree Protection Plan (09/2020)
 - Arboricultural Impact Assessment drawing (09/2020)
 - Landscape Specification and Management Plan (TDA updated August 2020)
 - Survey for Bats and Nesting Birds, prepared by David Clements Ecology Ltd, dated February 2020
 - Viability Statement (Savills, revised December 2019)
- 1.13 In addition to the statutory pre-application consultation for major applications, the application was subject to a discretionary pre-application enquiry prior to formal submission.
- 1.14 A Conservation Area Consent application (19/01957/MJR) was initially submitted and withdrawn as site benefits from CAC 16/001818/MJR, consented 12/01/2017 and which runs for 5 years, expiring 12/01/2022.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a rectangular parcel of brownfield land located on a prominent corner of Cathedral Rd and Talbot St, opposite the main entrance to Sophia Gardens. It is occupied by 3 buildings (nos 37, 39 and 39A), associated car parking, a number of trees (9 individual trees including TPO trees T11 and T5, and a group of trees G7) and amenity space. A street tree lies outside the site adjacent to Cathedral Rd. Vehicular access to the site is via the rear lane and pedestrian access from Cathedral Rd and Talbot St.
- 2.2 All buildings on the site have been vacant for approx 3 years and were last used as offices owned by Church in Wales. Nos 37 and 39 are fine, semi-detached, three storey Victorian townhouses with rear extensions, including single and two storey flat roof modern extensions. The properties have been linked with connecting extensions. No 39A is a two storey, red brick built house constructed in the early twentieth century as a rectory. It was converted to office use in the

later part of the twentieth century and a two storey reception area and ramped corridor added to link 39A to no 39.

- 2.3 The site benefits from planning permission 16/01817/MJR, and associated CAC 16/01818/MJR, for the demolition of 39A Cathedral Rd and the low quality modern rear extensions to the rear of no 37 -39, the construction of a new 3 storey office building, the conversion of no 37-39 from offices back to residential use (12 flats) and associated highway and ancillary works. This was not implemented, with offices remaining the established use. The CAC 16/001818/MJR was consented 12/01/2017 and runs for 5 years, expiring 12/01/2022.
- 2.4 The site is bound to the NW by Talbot St, to the NE by Cathedral Rd, to the SE by no 35 Cathedral Rd and to the SW by the rear service lane that extends between Talbot Street and Hamilton Street, beyond which lies a terrace of two storey residential dwellings at Ryder Street. Talbot St is identified as a secondary route on the Council's Integrated Network Map of cycling routes. Third party objections and other representations detail concerns over traffic, congestion and parking problems and related matters on Talbot St and adjoining streets (see section 7).
- 2.5 The site is located within the Cathedral Road Conservation Area and in an area characterised by diverse architectural styles, which juxtaposes fine and richly detailed traditional Victorian villas and religious buildings with modernist concrete office buildings and extensions of varying form and quality. Cathedral Rd is recognised as one of the finest Victorian streets in Britain. There is a mix of residential and employment uses within the vicinity.
- 2.6 No 33-35, adjacent to the site, is a modern office building with five storeys of office accommodation on the front elevation and three storeys of office accommodation in the projecting rear flank that is positioned above a two-storey car park at basement and ground floor level. (This was subject to application 18/02150/MJR for an extensions to the 4th, 5th and 6th floor to accommodate 14 apartments, which was refused and a subsequent appeal dismissed.) No 31 Cathedral Road is a 4 – 9 storey 1970s office building which has been converted into flats (under pp 13/00918/MJR) and subsequently extended on the 4th, 5th and 6th floors to form 5 additional flats (16/00181/MJR).
- 2.7 There is a grade II listed telephone box outside no 39A on Cathedral Rd. There are also a number of statutory listed buildings to the SE of the site, comprising nos 15, 17, 19, 21, 23, 15, 17-29, 20 and 22 Cathedral Rd and the former synagogue, which form part of a group of fine Victorian houses at the south end of Cathedral Rd. The properties are included in the list 'as part of a special group of late Victorian houses together with the former synagogue', noted to be 'perhaps the best example of their type remaining in Cardiff'.
- 2.8 There are a number of locally listed buildings in the vicinity of the site, including those opposite at nos 24 – 30 Cathedral Road and the terraces on both sides of Cathedral Rd to the NW of the site. A scheduled monument – GM173 Dominican Friary - lies approx. 415m to the east of the development. The Gd II

registered historic park and garden Sophia Gardens (PGW (Gm) 21 9CDF) lies approx 70m to the east of the development, with the grade 1 listed Cardiff Castle and Bute Park (PGW (Gm) 22 (CDF)) lying approx 223m to the NE.

- 2.9 The application site is located at the south-eastern end of Cathedral Rd, to the west of the City Centre in a highly sustainable location, well served by public transport and within walking and cycling distance of a wide range of education, employment, retail and community facilities.
- 2.10 The application site falls within a flood risk area. It falls entirely within Zone C1 as defined by the DAM referred to under TAN 15 and the site is within the 1% (1 in 100 year) and 0.1% (1 in 1000 year) annual probability fluvial flood outlines of the River Taff.

3. **RECENT PLANNING HISTORY OF RELEVANCE**

Site History

- 3.1 13/02351/DCI – Replacement of full height boundary wall with half height wall and railings, and forming new vehicle access to existing car park – approved 06/01/2014

16/01817/MJR – Proposed demolition of 39a cathedral road (the old vicarage) and construction of a new purpose built office building, the conversion of existing offices at 37 - 39 cathedral road to residential use and associated highway and ancillary works – approved 12/12/2017

16/001818/MJR (CAC) - Proposed demolition of 39a cathedral road (old vicarage) and ancillary demolitions relating to the construction of a new build office building, the conversion of existing offices at 37-39 cathedral road to residential use and associated highway and ancillary works – consented 12/01/2017 and runs for 5 years, expiring 12/01/2022.

19/01957/MJR (CAC) - Demolition of 39a cathedral road and rear annexes of 37-39 cathedral road – withdrawn.

4. **POLICY FRAMEWORK**

Local Policy

- 4.1 **Cardiff Local Development Plan 2006-2026** (Adopted January 2016)

Key Policies:

KP5: GOOD QUALITY AND SUSTAINABLE DESIGN

KP6: NEW INFRASTRUCTURE

KP7: PLANNING OBLIGATIONS

KP8: SUSTAINABLE TRANSPORT

KP12: WASTE

KP13: RESPONDING TO EVIDENCED SOCIAL NEEDS

KP14: HEALTHY LIVING

KP15: CLIMATE CHANGE

KP16: GREEN INFRASTRUCTURE

KP17: BUILT HERITAGE

KP18: NATURAL RESOURCES

Detailed Policies:

H3: AFFORDABLE HOUSING

H6: CHANGE OF USE OR REDEVELOPMENT TO RESIDENTIAL USE

EN7: PRIORITY HABITATS AND SPECIES

EN8: TREES, WOODLANDS AND HEDGEROWS

EN9: CONSERVATION OF THE HISTORIC ENVIRONMENT

EN10: WATER SENSITIVE DESIGN

EN11: PROTECTION OF WATER RESOURCES

EN12: RENEWABLE ENERGY AND LOW CARBON TECHNOLOGIES

EN13: AIR, NOISE, LIGHT POLLUTION AND LAND CONTAMINATION

EN14: FLOOD RISK

T1: WALKING AND CYCLING

T5: MANAGING TRANSPORT IMPACTS

T6: IMPACT ON TRANSPORT NETWORKS AND SERVICES

C3: COMMUNITY SAFETY/ CREATING SAFE ENVIRONMENTS

C5: PROVISION FOR OPEN SPACE, OUTDOOR RECREATION, CHILDREN'S PLAY AND SPORT

W2: PROVISION FOR WASTE MANAGEMENT FACILITIES IN DEVELOPMENT

Supplementary Planning Guidance (SPG) and other local guidance

4.2 Relevant SPG approved following the adoption of the Cardiff Local Development Plan:

Green Infrastructure (approved November 2017)

Infill Sites (approved November 2017)

Managing Transport Impacts (Incorporating Parking Standards) (April 2018)

Planning Obligations (approved January 2017)

Residential Design Guide (approved January 2017)

Safeguarding Business and Industrial Land and Premises (approved November 2017)

Waste Collection and Storage Facilities (approved October 2016)

Cathedral Road Conservation Area Appraisal (2007)

Provision of Electric Vehicle Charging Points in New Developments: Guidance for Developers (November 2018)

National Planning Policy

4.3 Planning Policy Wales (**Edition 10, December 2018**) and the Wales Spatial Plan set out the land use policies of the Welsh Government. These are supplemented by a series of Technical Advice Notes and Circulars.

4.4 Statements of particular relevance contained within PPW include:

- *Legislation secures a presumption in favour of sustainable development in accordance with the development plan unless material considerations indicate otherwise to ensure that social, economic, cultural and environmental issues are balanced and integrated (para 1.17)*
- *All development decisions, either through development plans policy choices or individual development management decisions should seek to*

contribute towards the making of sustainable places and improved well-being (para 2.2)

- *Planning policies, proposals and decisions must seek to promote sustainable development and support the well-being of people and communities across Wales. This can be done through maximising their contribution to the achievement of the seven well-being goals and by using the five Ways of Working, as required by the Well-being of Future Generations Act. This will include seeking to maximise the social, economic, environmental and cultural benefits, while considering potential impacts when assessing proposals and policies in line with the Act's Sustainable Development Principle (para 2.8)*
- *Planning authorities should ensure that social, economic, environmental and cultural benefits are considered in the decision-making process and assessed in accordance with the five ways of working to ensure a balanced assessment is carried out to implement the Well-being of Future Generations Act and the Sustainable Development Principle. There may be occasions when one benefit of a development proposal or site allocation outweighs others, and in such cases robust evidence should be presented to support these decisions, whilst seeking to maximise contributions against all the well-being goals (para 2.21)*
- *Meeting the objectives of good design should be the aim of all those involved in the development process and applied to all development proposals, at all scales (para 3.4)*
- *Development proposals must address the issues of inclusivity and accessibility for all (para 3.6)*
- *Developments should seek to maximise energy efficiency and the efficient use of other resources (including land), maximise sustainable movement, minimise the use of non-renewable resources, encourage decarbonisation and prevent the generation of waste and pollution (para 3.7)*
- *The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations. A clear rationale behind the design decisions made, based on site and context analysis, a strong vision, performance requirements and design principles, should be sought throughout the development process and expressed, when appropriate, in a design and access statement (para 3.9)*
- *In areas recognised for their particular landscape, townscape, cultural or historic character and value it can be appropriate to seek to promote or reinforce local distinctiveness. In those areas, the impact of development on the existing character, the scale and siting of new development, and the use of appropriate building materials (including where possible sustainably produced materials from local sources), will be particularly important (para 3.10)*
- *Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take (para 3.11)*
- *...higher densities and mixed-use development should be encouraged in areas highly accessible by public transport (para 4.1.37)*

- *To encourage the use of Ultra Low Emission Vehicles (ULEVs), the planning system should encourage and support the provision of ULEV charging points as part of new development (para 4.1.39)*
- *Planning authorities will need to ensure that in development plans and through the development management process they make the most efficient use of land and buildings in their areas. Higher densities must be encouraged on sites in town centres and other sites which have good walking, cycling and public transport links (para 4.2.22)*
- *Infill and windfall sites can make a useful contribution to the delivery of housing. Proposals for housing on infill and windfall sites within settlements should be supported where they accord with the national sustainable placemaking outcomes (para 4.2.23)*
- *The Welsh Government's specific objectives for the historic environment seek topreserve or enhance the character or appearance of conservation areas, whilst the same time helping them remain vibrant and prosperous... (para 6.1.16)*
- *There is a strong presumption against the granting of planning permission for developments, including advertisements, which damage the character or appearance of a conservation area or its setting to an unacceptable level. In exceptional cases, the presumption may be overridden in favour of development considered desirable on public interest grounds (para 6.1.15)*
- *Preservation or enhancement of a conservation area can be achieved by a development which either makes a positive contribution to an area's character or appearance or leaves them unharmed. Mitigation measures can also be considered which could result in an overall neutral or positive impact of a proposed development in a conservation area (para 6.1.16)*
- *The presence of a species protected under European or UK legislation, or under Section 7 of the Environment (Wales) Act 2016 is a material consideration when a planning authority is considering a development proposal which, if carried out, would be likely to result in disturbance or harm to the species or its habitat and to ensure that the range and population of the species is sustained. Planning authorities should advise anyone submitting a planning application that they must conform with any statutory species protection provisions affecting the site, and potentially the surrounding area, concerned (para 6.4.22)*
- *Planning authorities should protect trees, hedgerows, groups of trees and areas of woodland where they have ecological value, contribute to the character or amenity of a particular locality, or perform a beneficial and identified green infrastructure function (para 6.4.25)*
- *The provision of SuDS must be considered as an integral part of the design of new development and considered at the earliest possible stage when formulating proposals for new development (6.6.18)*
- *Development proposals should incorporate design for surface water management, based on principles which work with nature to facilitate the natural functioning of the water cycle... Design for multiple benefits and green infrastructure should be secured wherever possible (6.6.19)*
- *Planning authorities should be aware of the risk of surface water flooding, usually caused by heavy rainfall, and ensure developments are designed and planned to minimise potential impacts. Development should not cause*

additional run-off, which can be achieved by controlling surface water as near to the source as possible by the use of SuDS (para 6.6.27)

Technical Advice Notes (TANs) and other legislation

4.5 Key TANs include:

- TAN 2: Planning and Affordable Housing (2006)
- TAN5: Nature Conservation and Planning (2009)
- TAN 8: Renewable Energy (2005)
- TAN 11: Noise (1997)
- TAN 12: Design (2016)
- TAN 15: Development and Flood Risk (2004)
- WG Summary of what TAN 15 requires for highly vulnerable development (houses) to be considered acceptable
- TAN 18: Transport (2007)
- TAN 21: Waste (2014)
- TAN 24: The Historic Environment (2017)

Section 66(1) of Planning (Listed Buildings and Conservation Area) Act 1990: In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority...shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 72 (1) of Planning (Listed Buildings and Conservation Area) Act 1990: In the exercise, with respect to any buildings or other land in a conservation area... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

5. **INTERNAL CONSULTEE RESPONSES**

Responses received in respect of the original and August 2019 (Site Investigation report) submission:

- 5.1 **Neighbourhood Regeneration** requested a financial contribution of off-site community facilities to meet the needs of the new population, amounting to **£45,613.96**, assessed on the basis of 19 one bed flats and 32 two bed flats.
- 5.2 **Parks Services** noted that the highway lime tree outside of the property is unlikely to be affected by the development and that the amount and quality of amenity space for residents appears limited. They request an on-site open space requirement of 0.20ha or an off-site contribution of **£85,390** the use of which would be confirmed at the s106 stage.
- 5.3 **Housing Strategy** sought a 20% on-site affordable housing provision of 10 units, but that if it is concluded that this cannot be successfully delivered, a financial contribution of **£794,136** in lieu of 10 units (4 x 1bed & 6 x 2 bed).
- 5.4 The **OM Transportation** advised:
 - A minimum of 83 secure and accessible cycle spaces is needed of an appropriate type including some Sheffield stands

- The provision of 26 car parking spaces is acceptable in principle, but concerns are raised that the first two spaces would be hard to manoeuvre into and that layout amendments are needed to prevent vehicles parking in other areas (eg aisles)
- Whilst noting that the site is currently accessed via the rear lane and accepting that travel patterns will be different with 100% residential use, they would require appropriate parking restrictions to be introduced on the bellmouths of the northern/ southern extents of the lane and around onto Talbot St / Hamilton St, to ensure safe access can be maintained without parked cars causing concerns. It is suggested that this can be secured through a s106 financial contribution of £12,000 to include the costs of the TRO process.
- They would expect the existing condition 23 (Footway Improvements) attached to 16/01817/MJR to be re-applied to any permission.

5.5 In response to objections received from third parties, the OM Transportation advised:

- *The site access is an existing junction, and the changes proposed are minimal and the amount of car parking is reducing on-site, and we would therefore not seek a Stage 1 Safety Audit. In any case, a contribution from the development to introduce parking restrictions at the northern/southern extents of the lane should help to ensure safe access.*
- *Given there is a reduction in on-site car parking supply of around 30% in comparison with the extant permission, and the relative scarcity of adjacent on-street parking, it is not considered that the proposal is likely to have significant traffic issues in comparison with the consented development. It should also be noted that vehicle parking standards are maximums and that technically no vehicular parking is required.*
- *The existing rear lane will be capable of accommodating some emergency vehicles (albeit possibly not the very largest), although at the location of the gate there is a wider area available for a fire tender to operate. Generally the details of fire vehicle access to buildings is more a matter for Building Regulations*
- *It is not considered that servicing/refuse deliveries would cause undue issues, especially considering the existing/consented use of the site and our request for funding of additional parking restrictions to protect junctions.*

5.6 **Waste Management** advised that:

- the bin storage area is not large enough and that a designated area for the storage of bulky waste is now compulsory
- Standard advice is provided for the design of communal bin stores.

5.7 **The Flood and Coastal Risk Management Team** agreed that it would be acceptable to recommend a foul drainage condition only and an advisory notice relating to the need for separate SAB approval.

5.8 The Council's **Tree Officer OBJECTED** and provided detailed advice, summarised as follows:

- Subject to the submission of a satisfactory Arboricultural Method Statement and Tree Protection Plan, the development appears unlikely to result in unacceptable harm to retained TPO trees (T5 and T11) or Conservation Area tree (T4).
- the development involves the loss of x6 individual Conservation Area trees, including a 'B' category lime (T3), and one group of Conservation Area trees (G7) without offering compensatory planting, other than a single tree positioned to the east of the pedestrian access off Cathedral Road where it will be located in a highly constrained, unsuitable bed.
- Given the character of the Conservation Area, defined in part by its trees, and the need to secure canopy cover in a busy part of the city, they advise that at least x9 new trees can and should be accommodated, and provide detailed advice on species and planting specifications.
- Request a detailed, upfront landscape scheme to include evidence that services, including drainage, will not conflict with planting, a scaled planting plan, plant schedule, tree pit section, topsoil and subsoil specification, planting methodology, aftercare methodology and implementation programme.
- concludes that, in the absence of upfront plans and specifications that address these comments satisfactorily, the proposed development will neither preserve nor enhance the character of the Conservation Area, noting that the character of the Cathedral Road Conservation Area is defined to a significant extent by its mature tree cover and under-storey trees and shrubs on property frontages. Advises that the loss of trees, including a 'B' category lime, and the failure to show adequate mitigation or enhancement tree planting is fit for purpose, is evidence of the failure of the development to preserve or enhance the character of the Conservation Area. The pre-application advice given as part of PA/19/0001/MJR suggested suitable spaces and species that would enable the development to preserve/enhance, but this advice has not been taken on board in drawing up the current submissions.

5.9 The **County Ecologist** provided the following summarised advice:

- supports the methodology and conclusions drawn in the Bat Survey Report that the recorded activity comprises summertime day-roosting by non-breeding bats, possibly by individual associated with one or other of the large maternity roosts which area recorded in the vicinity, with bats detected in no 37 and having previously been detected in no 39, but not 39A
- the roost constitutes a 'low risk case', such that NRW do no need to be consulted with the proviso that the recommendations of a 'suitable' Bat Survey Report are implemented
- To be a 'suitable bat report' the report should be amended to include specific details of mitigation and compensation proposals in the short and long term, making reference to the construction details, and the opportunity taken to incorporate enhancement measures
- A new statutory duty, set out in section 6 of the Environment (Wales) Act 2016 requires public bodies such as Cardiff Council to seek to maintain and enhance biodiversity and, in so doing, to promote the resilience of ecosystems, in the exercise of their functions

- the development should incorporate enhancement measures and that an appropriate level of enhancement provision would be 4 x bat boxes for crevice-dwelling bats, 4 x swift boxes, 2 x double House Martin cup and 2 x House Sparrow terrace, with the Applicant's ecologist to advise on appropriate make, model and positioning.

5.10 **Pollution Control (Contaminated Land)** raised no objection, subject to conditions to the recommended conditions and advisory notice.

5.11 **Pollution Control (Air)** recommended a condition to require an Air Quality Assessment at the development and operational stage, with an air quality scope of works to be agreed.

5.12 **Pollution Control (Noise)** recommended to conditions to control road traffic and construction noise, and an informative in respect of construction site noise.

Responses received in respect of the August 2019 (1st amended submission - Site Investigation report only)

5.13 **Flood and Coastal Risk Management Team** – no response received.

Responses received in respect of the December 2019 (2nd amended plans submission)

5.14 **Housing Strategy** sought a 20% on-site affordable housing provision of 7 units or a revised financial contribution of **£535,920** in lieu of 7 units (4 x 1bed & 3 x 2 bed) if on-site provision cannot be successfully delivered,.

5.15 **Neighbourhood Regeneration** sought an amended contribution of £35,582.14 towards off-site community facilities.

5.16 **Parks Services** advised that the impact on street trees needs to be considered, that the amount and quality of amenity space remains limited and raise concerns over the potential impact of SuDS on the RPA of trees. Requested a revised s106 contribution of **£65,158** towards off-site public open space.

5.17 The **Council's Tree Officer** again **OBJECTED** to the proposals and provided detailed advice, summarised as follows:

- Objects to the proposed development given it will result in unacceptable harm to trees of amenity value.
- Notes the proposed drainage plan incorporates 'rainwater garden infiltration systems' to the NW and SE corners of the site and that the former will compromise the RPAs of the retained trees, advising that it is not clear what these comprise, probably T5 and T3 or T5 and T4. Any replacements for these trees would suffer a significant constraint on their root available soil volume (RASV). Notes that two replacement trees seem to have been 'shoe-horned' in to offset losses rather than forming part of a coherent landscape design and provides planting suggestions.
- Tree T11 will see a new foul water sewer encroaching within its RPA – this should be designed out.
- Requires full details of the 'landscaped deck' and provides further planting and specification advice for the site, noting that if their comments are

followed the development should be able to accommodate x9 new trees whilst retaining x 3 existing.

5.18 The **County Ecologist** advised that the bat survey submitted as part of the amended submission is the same as that originally submitted and that his original comments still stand.

5.19 **The OM Transportation** advised:

- Cycle parking - A minimum of one cycle space is required per bedroom and more specification details needed. Queries whether the only means of accessing the Block B cycle area is via the rear lane and what means there would be for pedestrians/ cyclists to enter the car park area.
- Car parking - The rear car parking area has been amended to a ramped/basement arrangement, with 18 spaces for the flats and 2 each for the townhouses, with the latter noted to be contrary to the SPG standards and requiring amendment. Notes the 2 spaces nearest to the gate are difficult to access.
- Accessibility - There is a concern over the accessibility of the site by users with mobility issue, in that there appears to be no way for them to access the buildings other than by using stairs or having to use the ramp and rear lane. Queries how the sliding gate would be operated.
- Refuse – notes that there is a path from the bin store to Talbot St where refuse servicing will take place, but queries how it would be accessed, who would be responsible for moving the bins, whether a dropped kerb is proposed on Talbot Street (as there is currently unrestricted parking where the bins would be wheeled out).
- Notes that whilst the site is currently accessed via the rear lane (albeit that travel patterns will be different with 100% residential use), they seek appropriate parking restrictions on the bellmouths of the northern / southern extents of the lane and on Talbot and Hamilton Streets, to ensure safe access can be maintained without parked cars causing concerns and that this be secured by a s106 contribution (£12,000 to include the cost of the TRO process).
- They expect existing condition 23 (footway improvements) of the extant 16/01817/MJR permission to be re-applied to any permission.

5.20 **Waste Management** confirmed the plans are acceptable. In response to the query from the OM Transportation, they confirmed that providing the bins are no further than 25m from the bin store to the kerb (approx 20m), that the path is a min of 1.5m wide (the Agent confirms the path width is 1.5m) and there is a drop kerb, this is acceptable.

5.21 **Pollution Control (Contaminated Land)** advised that their comments remain as initially advised.

5.22 **The Flood and Coastal Risk Management Team** – no response received.

Responses received in respect of January / February 2020 (3rd) amended plans submission

- 5.23 **Waste Management** advised the plans are acceptable and confirmed they have no further observations or objections.
- 5.24 **Flood and Coastal Risk Management Team** – no comments were received in respect of the January 2020 submission comprising an amended drainage ‘Proposed Site and Ground Floor Plan’ (19/4340 02 Rev H) and letter submitted to address the NRW concerns raised following the December 2019 submission, and issued to NRW, DCWW and the Council’s drainage team only or February 13 2020 submission.
- 5.25 **Flood and Coastal Risk Management Team** – Further to the 13 February 2020 consultation, the FCRM Team **OBJECTED** and recommended that the application be refused, advising that there is insufficient information to determine whether the site can be adequately drained and that, whilst the applicant has engaged in the SAB process, the SAB would look to refuse the SAB application in its current form. They requested a statutory standards compliance statement and advised the developer to engage further with the SAB in pre-application discussions.
- 5.26 Further to a case officer request for further explanation, the FCRM Team advised 27/02/20 that key issues are the proximity of infiltration systems to buildings as per building regulations, practical access to the SuDS features for maintenance as per the national standards, achieving full treatment train effect as per the national standards and a concern that the undercroft car park would remove flood storage and exacerbate flood risk offsite, as per the national standards.
- 5.27 Further advice was provided, summarised as follows:
- The proposals would not be SAB compliant
 - The underground car park with surrounding ‘bund’ means the area will cease to function as flood storage, removal of flood storage will potentially exacerbate flooding and flood risk elsewhere in the vicinity of the site.
 - The ramp into the undercroft may result in additional flood risk to the undercroft area if the SuDS feature intended for the ramp fail and exceedance routing would be into the car park area.
 - The proposals would need to integrate amenity /public open space more closely to achieve the principle of making the best use of available land through multifunctional usage of public spaces and public realm and this will need to be evidenced in a detailed landscape plan
 - *National Standard 2. Hydraulic Control* - It is unclear from the current information how the necessary level of the attenuation will be achieved. Secondly it appears that failure of the SuDS system on the car park ramp will result in exceedance flow to the car park area. It is unclear what measures are available to manage this eventuality.
 - *National Standard 3. Water Quality* - It is understood that recent proposals appear to show trees emplaced in clean stone soakaways, located on the Cathedral Road frontage of the site. Cardiff Council SAB generally do not accept this type of soakaway when other, more effective designs are available.

- *National Standard 6; Construction, Operation and Maintenance* - The proposals would have to demonstrate how plant and equipment would access the site. This is particularly relevant to the individual plot soakaways for the townhouses, it is envisaged by the SAB that access to these relatively small areas will be difficult given the boundary walls and local on-street parking habits.
- *Building Regulations* - It is understood the individual plot soakaways are less than 5.0m from the proposed townhouses. This is prohibited by Building Regulations.

5.28 **Flood and Coastal Risk Management Team** – Further to the 24 February 2020 consultation, the FCRM Team advised that the applicant has provided insufficient and conflicting detail relating to either flood risk or surface water drainage proposals and that it is difficult to assess the potential impact of the proposed development in respect of flood risk management measures and recommend the application is deferred, noting:

- They require information regarding the flood wall design and maintenance over its lifetime
- A significant issue with the SAB pre-application is the density of the development
- A statutory standards compliance statement is required
- The developer should continue to engage further with the SAB in pre-application discussions leading to a formal application.

5.29 The **Council's Tree Officer** provided detailed advice, summarised as follows:

- Implementation of development will see all but one of the existing trees within the site removed. This means x7 category 'C' (low quality and value) individual trees, x1 category 'C' group and x1 category 'B' (moderate quality and value) lime T3 will be lost. Trees of 'C' categorisation should not unduly constrain development whereas 'B' category trees should be retained and protected unless overriding design considerations necessitate removal and the loss is successfully mitigated by new planting. The only retained tree is the large TPO purple beech T11 at the rear of the site.
- A total of x11 new trees are to be planted, comprising x3 that are of large, long-lived species tolerant of the predicted impacts of climate change; x6 small-medium broad leaved evergreen trees comprising x4 to the Cathedral Road frontage and x2 *Ligustrum japonicum*, one each either side of the rear access and x2 small deciduous trees to be planted into containers located in the central landscape deck.
- Advises that there remains significant uncertainties around the planting specification and detailed advice is provided in respect of pruning, stock quality, species, advice in respect of tolerance to climate change, required root available soil volumes (RASV), soil specifications etc
- raises concern that the adequacy of the soil beneath the pavers to the Cathedral Rd frontage is unknown, noting that the area is currently sealed by pavers so it is assumed the soil is compacted, poorly aerated, dry and lacking organic matter and that roots from the street lime T1 could be exploiting soils beneath the pavers (the Root Protection Area RPA is shown to impinge into the area) resulting in conflict. Advises that trial investigations

should be undertaken to establish if roots are present, with advice provided as to the way forward, including a Arboricultural Method Statement and landscape specification, site specific section and plan views showing the RASV for new trees and root barriers that will be required to protect structures.

- Raises further concerns about and provides advice in respect of soils, RASV, planting specifications, securing appropriate tree quality from nurseries and implementation.
- Advises that evidence should be provided to show that no services, including drainage, will conflict with planting.

5.30 The Tree Officer subsequently provided advice on the use of conditions, noting that the applicant needs to demonstrate upfront what the RASV for each tree will be and the means by which this will be achieved, that there must be no services including drainage that constrain the RASV, and that the scale of this development and the tree losses proposed merit a detailed, upfront landscape scheme informed by all the requested assessments, rather than reliance on conditions. They emphasised the importance that any landscape plan (planting plan) is supported by specifications sufficient to demonstrate that what is shown on plan is deliverable. As an example of the importance of this, they note that a 'B' category tree is being lost to be replaced by two new trees, but there is no tree pit detail for these new trees that satisfactorily shows that they will have access to sufficient root available soil, in a SuDS or 'normal' soft landscape context, to support healthy long-term growth. Provide advice on the level of detail required.

5.31 The **County Ecologist** had no objection to revised February 2020 bat survey report and requested a condition to secure the report recommendations in respect of bats and nesting birds.

5.32 The **OM Transportation** advised that:

- The proposed wall-mounted cycle parking for the townhouses would be unacceptable, but details could be conditioned.
- The revised cycle parking for the apartments (some wall mounted in store; majority as Sheffield stands in car park) is an improvement, but notes fixing points are not shown and access is constrained by 2 of the car parking spaces.
- The parking layout is acceptable, other than the cycle parking concerns as above. It is welcomed that a platform lift is proposed to overcome mobility issues. The vehicle entry gate into the car park would need to be fully accessible by pedestrians and cyclists, and I would seek further details of this (could be conditioned).
- accept that Waste raise no issues and presume that the refuse vehicle would manage if a car was parked on Talbot Road adjacent to the bin store route.

5.33 **Waste Management** advised that plans detailing waste storage are acceptable and that facilities must be retained for future use for waste storage and confirm they have no further observations or objections to the proposed development.

Responses received in respect of March 2020 (4th) amended plans submission

- 5.34 **Waste Management** advised that plans detailing waste storage are acceptable. They note that they would collect the communal bins from the bin store and return them, that the townhouses would present their own bins on Talbot St and that the office would have a commercial collection and that it would be up to them to arrange a collection point when they take out the commercial contract, noting that it is presumed that the small amount of waste for the office would be collected from the bin store.
- 5.35 The **OM Transportation** had no objection subject to conditions to require cycle parking, details of the access with the rear lane and how the vehicle entry gate would operate, and footway and environmental improvements on Cathedral Rd, Talbot St and the rear lane (as per condition 23 of 16/01817/MJR) and a financial contribution of £12k to be secured via s106 agreement to include costs of the TRO process for appropriate parking restrictions to be introduced on the bellmouths of the northern/southern extents of the rear access lane, and on Talbot/Hamilton Streets, to ensure safe access can be maintained without parked cars causing concerns.
- 5.36 In response to a third party query re deliveries, they advised that deliveries can be accommodated on Cathedral Road (outside peak times, as denoted by the signs), on Talbot Rd and via the rear lane (although larger delivery vehicles may not practically be able to access this), noting that there is already delivery vehicle use/allowance at the site via the existing commercial use, and that there is extant permission for some residential units, and thus the net amount of additional delivery vehicles is not anticipated to be significant.
- 5.37 The **County Ecologist** repeated their previous advice that recommendations for bat mitigation, habitat compensation and enhancement and measures to help nesting birds, set out in the report, should be secured by condition.
- 5.38 **Pollution Control (Noise)** had no objection, and advised that a noise assessment is required, either upfront or by condition to control road traffic and live music noise in the area, and a condition to control construction noise dust and vibration, and an informative in respect of construction site noise and piling. Pollution Control (Noise) subsequently advised that if piling is to be carried out, this needs to be covered by the CEMP / conditions.
- 5.39 The **Tree Officer OBJECTED** again, and provided detailed advice summarised as follows:
- Notes that the Applicant's covering letter advises that the 'B' category lime T3 on the Cathedral Road frontage is to be removed, but that this is not clearly backed up by submitted plans and there is no Arboricultural Impact Assessment to clarify the position, but accepts that this is the case.
 - This being the case, advises that they do not support the removal of T3, since 'B' category trees should be retained as part of development unless overriding design considerations necessitate their removal and their loss can be fully mitigated by new planting. Advises they do not consider the loss of T3 to enable pedestrian access an overriding design consideration,

also noting that the loss of T3 is not mitigated because no new planting is proposed in a similar position and the space for such is not available in any event due to the access and the retained 'C' category trees. It will be noted that the 'C' category trees can only be expected to make a limited and short-term impact on amenity and therefore their retention at the same time as losing a large 'B' category does not preserve or enhance the character of the Conservation Area and does not preserve or enhance a sustainable urban forest.

- Notes that although the retained 'C' category trees on the Cathedral Road frontage are no longer threatened by the construction of large rain gardens, they will see encroachments within Root Protection Areas (RPAs) by a path, drainage and small rain gardens. Similarly, the retained, off-site street lime may see encroachment into its RPA by a French Drain. There is no Arboricultural Impact Assessment, Method Statement or Tree Protection Plan that considers these encroachments or precautionary measures proposed to ensure significant harm does not result. Advises that drainage and rain gardens should be positioned to avoid RPAs if possible, but if not, the method of installation requires explanation to demonstrate that unacceptable harm won't result.
- Advises that they do not consider the planting of x4 Ilex 'Nellie R. Stevens' opposite the retained street tree (also a lime) mitigation for the loss of T3 since these trees are physically distant from T3 and this Ilex is a much smaller tree than the lime. Notes no evidence has been presented to show how these trees can be planted and grow successfully without significant harm resulting to the street lime. The in-situ soils may be extensively exploited by lime roots such that pit planting within the nominal RPA of two of the four Ilex may result in significant root damage or loss. If the in-situ soils need to be removed because they are degraded or contaminated then the process of removing and replacing this soil may result in significant root damage or loss. There are likely to be methods available to minimise damage in different contexts, but the applicant hasn't presented these and leaving such matters to discharge of conditions invites the risk that what is shown on plan is not achievable without significant harm to the street lime resulting.
- Advises that it should be possible to plant two of the x4 Ilex 'Nellie R. Stevens' outside of the RPA of the street lime, thereby avoiding significant harm and that this might reasonably be considered successful mitigation for the loss of existing low quality trees but not for the loss of T3.
- Advises that the specifications for new planting, particularly planting soils, remain unsatisfactory and provides detailed advice.
- Concludes that the proposed development is considered contrary to EN8 and does not preserve or enhance the character of the Conservation Area. The submission proposes the loss of a 'B' category tree but does not mitigate its loss and provides insufficient evidence to demonstrate that harm won't result to retained trees within and adjoining the site, also noting that details of landscaping are not fit for purpose.

5.40 The **Flood and Coastal Risk Management Team** OBJECTED on the following summarised grounds:

- Drawing/document notes state that the SuDS features will depend on architect's final specifications, which is unacceptable.
- FCA - The latest FCA (Revision D) is based on superseded information and can't be relied upon
- Maintenance and operation - The cover letter confirms that the management plan is yet to be completed, contrary to A4.16 of TAN15, which requires consideration of maintenance early on.
- Escape / evacuation routes – there is insufficient information about escape routes to satisfy the requirements of A1.12 of TAN 15.
- Flood defences - As noted by NRW in their comments of 03/01/20, the proposals fails to meet A1.14 of TAN 15 as it has not been demonstrated that the retaining wall around the car park is structurally designed as a flood defence structure with an appropriate management scheme.
- Off-site flood risk exacerbation – clarification is required to demonstrate the absence of flood risk elsewhere.
- Flood mitigation measures – the designs are not sufficiently environmentally sympathetic, with an over reliance on below ground solutions, contrary to policy EN14
- Effect on quantity and quality of surface waters – note that: the proposal is entirely dependent on infiltration but no extensive BRE365 tests have been submitted (only favourable falling head tests), no evidence is submitted to confirm that the ground will not be compacted during the construction process and the undercroft SuDS feature does not include any water quality treatment features.
- Soakaways – raises concerns over soakaway design, including that the proposals would conflict with the Building Regs requirement that soakaways should not be within 5m of buildings, that a ground water monitoring well has been established to assess but no data returned from it yet to assess water table levels and further detail is needed on the viability of the excavation of the undercroft parking facility.
- Storage volume – it has not been demonstrated that the soakaways are large enough.
- Welsh Government Statutory National SuDS Standards (SNSuDSS) –the applicant cannot demonstrate how the latest plans meet the Statutory Standards for SuDS, contrary to WLGA guidance on implementation of schedule 3, paragraph 2.49. The LLFA confirm they requested a statutory standard compliance statement 23/1/20 and none has been provided and advise that a SAB application made on this basis would almost certainly be rejected, noting that the lack of modelling, detailing and conflicting material mean the development cannot be assured to drain adequately and may cause harm both to the development and potentially offsite also.
- In summary, confirm they offer a fundamental drainage objection and request clarification that the development does not pose a flood risk.

Responses received in respect of September 2020 (5th) amended plans submission

- 5.41 The **Council's Tree Officer** has no objection to the amended submission and requested tree reports (AIA, AMS, TPP) dated 03/09/20 with comments summarised as follows:

- No works would take place within the RPA
- X7 new trees are proposed as part of development and these represent an enhancement to the Conservation Area. They will comprise x1 very large tree (*Quercus palustris*), x2 large trees (*Acer x freemanii* 'Armstrong'), X2 medium trees (*Ligustrum japonicum*) and x2 small trees in planters (*Cornus controversa* 'Variegata'). This planting more than offsets the loss of existing low quality trees and improves species diversity and age class structure, both important elements in achieving a sustainable tree population.
- In terms of the objections received in term of tree loss and climate change, I would say that the scheme requires the removal of a small number of low quality and value trees that should not be a significant constraint to development and that are not considered to represent significant trees in terms of mitigating the predicted impacts of climate change. The development incorporates the planting of X7 new trees and this planting more than offsets the loss of existing low quality trees and improves species diversity and age class structure, both important elements in achieving a sustainable tree population and mitigating the predicted impacts of climate change. The *Quercus* and *Acer* in particular are tolerant of extremes of soil moisture and dryness, conditions that may become more frequent with climate change. The *Ligustrum* is a broad leaved evergreen and consequently offers year round visual amenity benefits and interception/storage of pollutants. Taking the objection literally, it would mean that not a single tree on any development site anywhere in Cardiff or Wales generally could be removed since this would in their view contravene the Environment Act and PPW. This would lead to an imbalanced age class structure (ageing tree population), lack of species diversity including species well-adapted to deal with the predicted impacts of climate change, potential hazards and potentially catastrophic pest and disease outbreaks.

5.42 The **Flood and Coastal Risk Management Team** – SuDS Approval (SAB/F/0024 – 2037081) was granted 30/09/20, and the FCRM Team confirm that the same drainage details have been submitted under planning and SAB, that it's a good design and advise that if there is SAB approval and no objection from NRW accepted by the SAB as legitimate, then all is fine to progress from a drainage perspective. In response to NRW's comments and further to the clarification of retaining wall calculations, they also confirm that the proposed design of the flood/retaining wall to the car park is more than adequate to hold back a full head of water from the outside ground to its top.

6. **EXTERNAL CONSULTEE RESPONSES**

Responses received in respect of the original submission:

6.1 **DCWW** advise that:

- *foul water will drain to the public sewer whilst it is proposed that sustainable drainage will be used for the disposal of surface water*
- *it is unclear what sustainable drainage features will be used and whether a connection is required to the public sewer.*
- *In the absence of a comprehensive surface water drainage strategy and/or SAB application under Schedule 3 of the Flood and Water Management Act, they request a condition to require a drainage scheme for the site to be*

submitted and approved to provide for the disposal of foul, surface and land water.

Standard advice is provided about connections to the public sewer. DCWW subsequently agreed that it would be acceptable to for the condition to deal with foul drainage only, given that the development requires SAB approval.

6.2 **NRW** (09/09/19) confirm no objection to the initial submission or site investigation report consultation in respect of Flood Risk and European Protected Species, subject to an informative being attached in respect of bats and the need for a European protected species License.

6.3 The **Wales Victorian Society and Welsh Historic Gardens Trust** **OBJECT** advising that:

An application for this site was refused earlier this year and this replacement application should be refused now, for all of the reasons that many have already cited, regarding scale, massing and particularly the deleterious effect on the character of this very important Conservation Area.

The consent to demolish the Vicarage granted in December 2017 established the principle of a 3 storey replacement for the Vicarage building, constructed mostly in brick with stone detailing (the Vicarage may have been built in brick but it was an unusual finish in a road lined with stone villas and any replacement should reflect this).

PPW Chapter 6 and TAN 24 states that the historic character of the area should be taken into account in the management of change, to sustain local distinctiveness and a sense of place. Also to ensure that any new development accords with the Area's special architectural and historic qualities and, engages with the Conservation Principles as outlined in TAN 24 (1.11 and 1.26 notably) and TAN 12. The latter requiring that the design should respect and respond to the local context.

Along the road from this proposal are nine Grade II Listed Buildings, across the road are two Grade II Listed Buildings, which back onto a Registered Park. The importance of the architectural and historic setting for any development here is therefore really significant and not to be ignored.

Since The Historic Environment (Wales) Act 2016 came into force Heritage Impact Assessments are usually required to be undertaken as part of Conservation Area consent. This is to ensure that the local distinctiveness and character that give an Area its unique identity of place has been fully understood and informs new development design (TAN 12 and 24). This is definitely not the case here and begs the question whether an HIA was undertaken?

*This proposal also fails to fulfil the requirements of:
Policy KP5 of the Cardiff LDP for good quality design.
Policy EN9 as it does not demonstrate that it preserves or enhances the local character of this very significant Conservation Area.*

What remains of the Victorian part of Cathedral Road is considered to be one

of the finest roads of Victorian Villas in the country, with a number of Listed Buildings along it. Its designation in 1972 occurred after a campaign led by Lincoln Hallinan and notable members of the Victorian Society. It's a poor reflection on how some in Cardiff value their heritage that this proposal has been submitted. It is overbearing, too intensively developed, totally unsympathetic to its context and a poor pastiche of the grandeur displayed by what would be its older neighbours. And where are the Gardens?

This part of Cardiff was developed by the Bute Estate who demanded quality design and detailing for the larger grander houses along Cathedral Road and the smaller ones in neighbouring streets. The outstanding quality and coherence achieved in the housing stock developed by the Bute Estate should be protected, promoted and act as a guide to what we really need in Cardiff and that is design of an excellent quality that befits a City that wants to be seen as world class.

Finally the submission of this application has not been well advertised nor was the pre application consultation in June /July 2019.

6.4 **South Wales Police** provide design recommendations in respect of specifications for doors, windows, use of audio visual access control, appropriate lighting of parking areas, provision of enclosed and secure cycle storage and secure bin storage, and advising that secure fencing gating should be used to prevent people accessing the rear parking area from the front of the development.

6.5 **Cadw** – no response received.

Responses received in respect of the August 2019 (1st amended submission - Site Investigation report only)

6.6 **DCWW** advise 09/09/19 they have no further comment and refer back to their previous letter dated 19/8/19.

Responses received in respect of the December 2019 (2nd) amended plans submission

6.7 **DCWW** note:

- the proposal is to drain foul water to the mains sewer utilising an existing drainage connection with surface water discharging to soakaways and rain gardens
- that the development requires SAB approval and that they can comment further under that application
- they have no objection to the communication of foul flows to the public sewer and welcome the reuse of existing drainage, but note the foul drainage crosses multiple boundaries and serving multiple properties and would therefore need to be offered for adoption for them to assess under the Water Industry Act. They advise that the drainage layout may alter as part of this assessment and it would be the applicant's obligation to amend/ revise any planning permission.

- Recommend a condition to require that no surface water and/or land drainage shall be allowed to connect directly or indirectly with the sewerage network and advisory notices in respect of public sewer connections.

6.8 **NRW** (03/01/20) have **significant concerns** and recommend permission is only granted unless further information is provided to demonstrate that the risks and consequences of flooding can be managed to an acceptable level, noting the following key points:

- *The FCA (revision D) confirms that the finished floor level for all the buildings is to be set at 7.92m AOD and the car parking area is to be set at 6.50mAOD. Based on these levels, we can advise:*
- *The buildings are predicted to be flood free in a 1% (1 in 100 year) plus climate change flood event and are therefore in accordance with the criteria in Table A1.14 of TAN15. The building could flood to a depth of 320mm in a 0.1% (1 in 1000 year) flood event, which is in accordance with Table A1.15 i.e. <600mm.*
- *The car parking areas are predicted to flood to a depth of 1400mm and 1740mm in a 1% plus climate change flood event and 0.1% flood event respectively. Maximum velocities are predicted to be in the order of 0.65m/s. These depths and velocities are not in accordance with the acceptability criteria given in Tables A1.14 and A1.15 of TAN15.*
- *The proposed site plan also indicates the amenity areas of the townhouses are to be set at 7.77mAOD and are therefore predicted to flood to a depth of 130mm and 470 mm in a 1% plus climate change flood event and 0.1% flood event respectively.*
- *The existing basements are not referred to within the FCA. It remains unclear what the intention is for these parts of the buildings.*
- *We note the FCA has considered the potential for impacts on flood risk elsewhere, as a result of the proposed development. We are satisfied with the information provided in this regard.*
- *We understand that the buildings to be converted already benefit from an extant planning permission for residential use and that the car parking areas also have consent for 12 spaces in association with residential use (16/01817). However, the amended car park levels proposed for this application are different (lower) to those granted under the extant permission.*
- *The PAC report indicates that the levels provided in the FCA version C were the same as in the extant permission. We therefore advised in our letter dated 9 September 2019 that the car parking areas were predicted to flood to a depth of 320mm and 640mm in a 1% plus climate change flood event and 0.1% flood event respectively. This was based on the car parking area being set at 7.6mAOD as stated in the FCA revision C.*
- *As indicated above, it is now proposed that the car parking areas be lowered, below the level granted under the extant permission, and are predicted to flood to a depth of 1400mm and 1740mm in a 1% plus climate change flood event and 0.1% flood event respectively. This is a difference of 1080mm and 1100mm respectively.*
- *We also are unclear as to the ground level at the vehicular access point. The proposed site plan shows 7.88mAOD whilst the proposed site and*

ground floor plan indicates 8mAOD. The predicted flood level is 7.90m AOD for the 1% plus climate change flood event.

- We note that the FCA revision D indicates the car parking area would be protected from flooding by a retaining wall that ties into higher areas of ground above 8mAOD. If it is proposed that this is to be a flood defence structure, it will need to be demonstrated that it is structurally designed for this purpose with an appropriate management scheme in place. A breach assessment of this flood defence structure will need to be included in any updated FCA.*
- Given the above, the proposal is not compliant with criteria A1.14 of TAN 15. We therefore seek revised plans and FCA which demonstrate no increase in the level of risk beyond that already accepted as part of the extant permission.*
- They note the bat and bird report has not changed and reiterate their previous advice in respect of European Protected Species.*

6.9 **Cadw** – no response received.

Responses received in respect of January / February 2020 (3rd) amended plans submission

6.10 **DCWW** (03/02/20) confirm they have no further comments (in respect of 14 Jan consultation).

6.11 **DCWW** (04/03/20), further to 13 February 2020 consultation, advise they have no objection to the foul water strategy on the strict understanding that the existing private drainage within the site can be reused and that no connection is required to the brick work sewer in Cathedral Rd. They advise that surface water can be addressed as part of the SAB application, acknowledge that SuDS features are proposed and would appreciate details on the volume of surface water being removed from the existing building and the proposed discharge rate in the developed scheme, and request an advisory note in respect of connections to the public sewer be included within any consent.

6.12 **NRW** (10/2/20) further to information published 14/01/20 and 23/01/20 advise they continue to have **significant concerns** and would object unless further information is provided to demonstrate that the risks and consequences of flooding can be managed to an acceptable level in accordance with TAN15, noting:

- the two site plans submitted show different ground levels for the amenity areas of the townhouses. We assume that the latest plan, ref SL102 Revision C by John Wotton Architects, showing the proposed amenity areas set at 7.90m AOD is the correct plan to consider.*
- We have also considered the letter dated 13 January 2020 by Austin Partnership, in particular the information relating to the proposed wall structure and raised access to exclude flood water. However, we seek further information in this regard, to demonstrate that these mitigation measures would not increase flood risk elsewhere. Should satisfactory information be provided to demonstrate that the proposals would not increase flood risk elsewhere, we advise that your Authority will need to satisfy itself that the proposed wall and raised access will be appropriately*

designed and maintained, such that they function as intended for the lifetime of the development.

- *European Protected Species - We reiterate our advice in our letter dated 9 September 2019.*

6.13 **NRW** (09/03/20), further to consultations on additional information of 13/02/20 and 24/02/20 advise they continue to have **significant concerns** and would object unless further information is provided to demonstrate that the risks and consequences of flooding can be managed to an acceptable level in accordance with TAN15, noting:

- *We refer you to our previous response dated 10 February 2020 regarding the wall structure and raised access to exclude flood water. We reiterate that your Authority will need to satisfy itself that the proposed wall and raised access will be appropriately designed and maintained, such that they function as intended for the lifetime of the development.*
- *We note the additional information available on your website with a published date of 24 February 2020, namely an email from Howard Austin, regarding flood compensation storage. We have considered the content of this email and are satisfied that the proposal is unlikely to impact flood risk elsewhere.*
- *With reference to our response dated 3 January 2020, we remain concerned about the proposed development levels for the amenity areas and accesses adjacent to Talbot Street, which may be at risk of flooding, as noted in the Austin Partnership letter dated 13 January 2020. These areas should be designed to be flood free in a 1% plus climate change flood event to comply with TAN15. However, we recognise there is an extant permission (16/0817/MJR) for the site and as such, as a minimum, these areas should be set no lower than the levels granted under the extant permission. We therefore require further information to demonstrate that the levels of these areas will be raised at or above 7.9mAOD or no lower than the levels granted under the extant permission 16/0817/MJR.*
- **European Protected Species** - *We have considered the updated report entitled '37-39 Cathedral Road, Cardiff, Glamorgan Surveys for Bats and Nesting Birds' version 3, dated February 2020 by David Clements Ecology LTD, published on your website on 12 February 2020. We confirm our advice as set out in our response dated 9 September 2020 remains unchanged.*

6.14 The **Wales Victorian Society and Welsh Historic Gardens Trust OBJECT**, reiterating their previous comments and adding that if the Cathedral Road Conservation Area Group were still in existence this totally inappropriate application would never have got past the pre-application consultation stage. They note that Cardiff's heritage, which adds enormously to its distinctiveness, appeal and character, is now constantly under threat by these intensive, insensitive developments and this needs to stop, especially in this case, as it is on one of the finest Victorian roads in Britain. They also note the huge concern about development on flood plains, noting that developments post 2008 are not able to access government flood insurance in the event of flooding, which blights whole areas and mostly affecting innocent purchasers. They also note

the increased traffic generated will add to the already high levels of pollution along the main portals into Cardiff centre.

Responses received in respect of March 2020 (4th) amended plans submission

- 6.15 **Cadw** confirm they have no comments to make, advising it is unlikely that there will be any effect on the settings of the scheduled monuments or the registered historic park and gardens owing to intervening topography, buildings and vegetation.
- 6.16 **DCWW** (06/04/20) advise they have no objection to the foul water strategy on the strict understanding that the existing private drainage within the site can be reused and that no connection is required to the brick work sewer in Cathedral Rd. They advise that surface water can be addressed as part of the SAB application, acknowledge that SuDS features are proposed and would appreciate details on the volume of surface water being removed from the existing building and the proposed discharge rate in the developed scheme, and request an advisory note in respect of connections to the public sewer be included within any consent.
- 6.17 **NRW** (07/04/20) advise they continue to have **significant concerns** and would object unless further information is provided to demonstrate that the risks and consequences of flooding can be managed to an acceptable level in accordance with TAN15, noting:
- *The Site and Ground Floor Plan 19/434002 Rev Q shows some ground levels below 7.9m AOD, specifically amenity areas and accesses adjacent to Talbot St, noting that as such it appears that the information in the letter confirming external areas have been amended above 7.9m is inconsistent with the amended plans.*
 - *There is an inconsistency between the amended plans in respect of FFL and ground levels. Drawing 267 SL102_F 'Proposed Site Plan' with a published date of 20/3/20 shows the previous new build FFL of 7.92mAOD and three townhouse amenity areas at 7.9mAOD, not the amended figures of 7.95mAOD and 7.93mAOD respectively.*
 - *Therefore our significant concerns remain and we refer you to our previous response dated 9/03/20. In summary:*
 - *your Authority will need to satisfy itself that the wall and raised access (proposed for the purpose of excluding flood water) will be appropriately designed and maintained, such that they function as intended for the lifetime of the development.*
 - *We remain concerned about the proposed development levels for the amenity areas and accesses adjacent to Talbot Street. Further information is required to demonstrate that the levels of these areas will be raised at or above 7.9mAOD or no lower than the levels granted under the extant permission 16/0817/MJR. All plans and documents submitted should be consistent with each other.*
 - *European Protected Species - We have considered the updated report entitled '37-39 Cathedral Road, Cardiff, Glamorgan Surveys for Bats and Nesting Birds' version 3, dated February 2020 by David Clements Ecology LTD, published on your website on 12 February 2020. We confirm our*

advice as set out in our response dated 9 September 2020 remains unchanged.

6.18 NRW further advised:

- *We note proposed ground levels are higher than existing (and were not specified by the extant permission) therefore we have no concerns in this regard. Although there is inconsistency in plans, provided FFLs are set at or above 7.9mAOD, we have no concerns.*
- *As advised previously, it is for your Authority to satisfy itself that the wall and raised access (proposed for the purpose of excluding flood water) will be appropriately designed and maintained, such that they function as intended for the lifetime of the development.*

Responses received in respect of September 2020 (5th) amended plans submission

6.19 **DCWW** raise no objection, noting that the connection is to the on-site private combined sewer which is acceptable in principle and confirm that they are happy with the drainage condition on this basis.

6.20 **NRW** confirm they have no objection and provide the following advice:

- *Flood Risk - We have considered additional information on your website, including an updated 'Flood Risk Assessment' by Austin Partnership Consulting Engineers dated July 2020 Revision E. We note the updated Flood Risk Assessment includes the latest flood modelling figures. We note the extant permission for the site and that proposed ground levels were not specified by the extant permission. Provided finished floor levels are set at or above 7.9mAOD, we have no concerns.
As advised previously, it is for your Authority to satisfy itself that the wall and raised access (proposed for the purpose of excluding flood water) will be appropriately designed and maintained, such that they function as intended for the lifetime of the development.*
- **European Protected Species** - *We confirm our advice as set out in our response dated 9 September 2020 remains unchanged.*

6.21 The **Wales Victorian Society and Welsh Historic Gardens Trust** **OBJECT** and advise that it's now becoming difficult to assess this totally inappropriate application because of the number of documents to sift through, that there seems to be very little engagement with addressing the numerous concerns expressed in the past and re-iterate their initial objection (replicated in full in para 6.3).

6.22 **Cadw** raise no objection and confirm that the submission does not alter the advice given previously, that it is unlikely that there will be any effect on the settings of the scheduled monuments or the registered historic park and gardens and that they have no comments to make.

7. REPRESENTATIONS

7.1 The application was publicised by press and site notices, and neighbours and Local Members were consulted.

- 7.2 A 139 signature-strong **petition of OBJECTION**, has been received, objecting to the demolition of the former vicarage and development of 37 – 39A Cathedral Rd on grounds that *‘the proposal represents a massive overdevelopment of the space, and will mar the Cathedral Rd Conservation Area due to the unsympathetic nature of the design. A development of this kind will cause noise and light pollution, whilst the increased traffic associated with so many dwellings will impact negatively on air quality and congestion.’*

Responses received in respect of the original and August 2019 additional information submission (Site Investigation report only):

- 7.3 In response to the initial and August 2019 consultation, 140 letters of objection / representations were received from owners/occupiers of the following addresses: 4 Plas Gwynt Mansions at 30 Cathedral Rd, 41-43, 44, Flat 2 72A, 103, 156 Cathedral Road, 2, 30, 32, 34, 36, 38, 40, 42, 46B, 52, 54, 68, 90 Ryder St, 63, 68, 82, 96, 98, 140, 151 Kings Road, 3, 4, 7, 21, 23, 17, 18, 19, 20, 22, 23, 26, 28, 30, 31, 32, 37, 42, 43, 44, 47, 55 Talbot St, 3 Talbot Place, 6, 19, 22, 31, 36 Plasterton Gardens, 9 Plasterton Place, 15, 19, 26, 71 Plasterton Avenue, 17 Severn Grove, 10 Severn Rd, 15 Pontcanna Place, 16, 47, 58, 80 Hamilton St, GGF 37 Conway Rd, 13 Syr David’s Av, 93 Farleigh Rd, 14 Berthwin St, 7 Iestyn St, 16 Clive Rd, 15 Kyveilog St, 109a Ninian Park Road, 5 Westmoreland St, 52 Harold St (Adamsdown), 64 Africa Gardens (Gabalfa), 3 Ludlow Close (Grangetown), Glan y Morfa (Welshpool), the Chair of the Friends of Plasterton Gardens, and the Civic Society and 37 of undisclosed addresses, who raised the following summarised objections / points:

Use / Principle of Development

- Support for the change of use, additional housing and redevelopment of the vacant site
- the Vicarage should be re-used, not demolished
- The flats are unsuitable for families and there is an oversupply of small flats in the area – fewer larger flats would be better
- Preference for bungalows and a mixed used, rather than purely residential

Heritage and Design

- Cardiff as a capital city needs to maintain a higher standard of conservation - planning and council departments are allowing developers to destroy Cardiff’s beauty and history
- Overdevelopment on a serious scale, contributing to future slums
- Unsympathetic, incongruously modern, cheap and nasty, prison-like, ugly design, devoid of architectural merit, of insufficient quality, driven by profit and cost minimisation, without regard for community fabric and historical context and lacking in a sense of place
- Harm to the character of Cathedral Rd, one of the finest Victorian Streets in Britain that attracts visitors to the city
- Harm to the Conservation Area from over dominant, inappropriate design, density, massing, scale and height, detailing, colour palette and materials, and lack of respect for established plot sizes, the street scene, building lines and the street rhythm, contrary to the Cathedral Rd Conservation Area Appraisal

- Harm to Conservation Area from huge annexes – the Appraisal requires developments to respect established plot size and garden layout. The annexe has similar proportions to the rear extension of 33 – 35 Cathedral Rd - the annexes at 31-37 are an eye-sore, were built before the Conservation Area was designated and should be seen as a caution to future building and not as a precedent
- Concern over the use of red brick, when most buildings are stone-fronted
- The building would be more acceptable if Pennant and Bath stone were used, with sliding sash timber windows, detailed/carved stone work, feature porches and doorways in Bath stone, welsh slate roof tiles, patterned and detailed brick work
- It is possible to construct high quality Bath stone carving and dressing within a development budget and there are still working bench stone masons in Cardiff who could carry out this work
- Harm to the registered historic park at Sophia Gardens and its entrance
- Insufficient green or garden area, contrary to the Appraisal that former garden areas should be maintained
- Failure to address the long term plan for the coach house/ outbuilding intended as a short term sales office
- Harm to the Conservation Area from loss of trees
- Inadequate consideration of sustainability measures - need for more emphasis on energy efficient building design and renewable energy, electric car charge points and sufficient cycle parking.

Access, Transport, Waste and Pollution

- Exacerbation of existing traffic and congestion, particularly along Talbot St and at Cathedral Rd / Talbot St junction and events days, leading to increase in access problems particularly by emergency and refuse vehicles, emissions, air and carbon monoxide pollution and consequent health problems, rat running and road safety problems, particularly for children, noting that the 20mph speed limit is unenforced
- Inadequate car parking provision, leading to severe parking problems, conflict and problems with delivery and service traffic, and access by emergency vehicles - it is impossible to park in a residents' space after 6pm as they are all full and residents have to park quite a distance away
- Impact of lack of parking on local businesses that need customer parking
- Unrealistic to think that residents will be encouraged to use public transport by restricting parking
- The proposed rear lane entrance is inappropriate and will create significant traffic and highway safety problems for all users- there are no pavements or road signs and the rear lane has substandard visibility, is narrow and unlit with no passive surveillance. Objectors report near-misses crossing the rear lane
- The section of Talbot Street between Cathedral Rd and Ryder St where the access is proposed is often gridlocked and operating as a single way carriageway, due to parked cars, with the passing of oncoming vehicles already very difficult

- The entrance to the rear lane will require an adequate visibility splay to ensure road safety - this will result in double yellow lines around the entrance and further loss of parking
- The extent of existing double yellow road markings on Talbot St at Cathedral Rd junction is currently too short and causes issues due to limited passing space at signal control junction area
- The application requires a Stage 1 Road Safety Audit
- Electric charging points should be installed in some of the spaces
- Inadequate cycle parking
- Talbot St is a designated Cycle Route and resulting traffic congestion and emissions will be harmful to cyclists, including children cycling to school
- Traffic, access, highway safety, general nuisance and security problems during construction phase
- Concern that increased use of the rear lane 24/7 will increase levels of noise, air and particulate pollution and affect the structural stability of Ryder St properties and assumption that the state of their building in terms of cracking will be monitored during and after build by an independent council source to ensure any adverse effects are dealt with
- Exacerbation of air pollution problems in the area, including to Caste St / City Centre Air Quality Management Zone which is likely to fail legal compliance targets for 2021 for NOx levels. Evidence must be produced to verify that UK Air Quality Management Objectives have been satisfied prior to determination
- Increase in obstruction of pavements from bins on collection days, particularly for people with mobility impairments
- Absence of a Waste Strategy Plan – query as to how would be responsible for moving the bins and bags onto Talbot Street and where would they be left

Amenity and other social considerations

- The local area is already overpopulated, overused and at capacity
- Increased pressure on already stretched local services and facilities, including schools and medical centres
- Lack of provision for local facilities eg affordable housing, medical centre, schools, shops or restaurants that would improve the neighbourhood
- Media reports have highlighted the failure of developers to honour section 106 obligations – with 25 Cardiff developments having £21m s106 contribution requirements and only £3.75m being received, mostly through reductions in affordable housing contributions. The requirement for s106 obligations on this scheme should be absolute
- Harm to local community, living environment, well-being and quality of life, contrary to the Well-being of Future Generations (Wales) Act
- Harm to amenity from light and noise pollution, congestion and disturbance
- Impact on social cohesion, local identity and community from a project aimed more at corporate profit than social gain
- Impact from rental apartments and flood of Air B and B usage
- Impact on Welsh language

- Harm to amenity from a loss of privacy to gardens and habitable rooms of Ryder St dwellings from overlooking from tall buildings, fifth floor roof terrace, windows and balconies
- Overbearing and oppressive impact on adjoining occupiers from size, height, scale, siting and close proximity and loss of views
- Loss of light and overshadowing to Ryder street properties and gardens, leading to harm to amenities and well-being
- It is noted that a plan is submitted calculating the 25 degree obstruction angle from no 40 Ryder St, but it is noted that nos 30 and 32 Ryder St (with bi-fold doors) and other houses protrude a further 2m +, and that the 25 degree rule would not be met here
- Harm to amenities of future occupiers from inadequate living environment, landscaping, and provision of private amenity space and public open space
- Proximity to parkland should not qualify as access to green spaces as this discriminates against many people's inability to access such spaces
- Loss of existing gardens
- Flat sizes are below minimum size guidelines
- Increased noise and disruption and conflict with permanent residents if occupied by students, changing the character of the area
- Harm to the Cathedral Rd area as a sustainable neighbourhood
- Negative impact on property prices and Council tax revenues
- Harm to the local economy resulting from harm to character of the area
- Failure to evidence how Well-being goals are met.

Green Infrastructure and Drainage

- Loss of rear gardens and trees and consequent harm to visual amenity, pollution levels, ecology, quality of life and the Conservation Area, against a background of loss of too many trees in the locality, leading to further failure on the Council's part to adhere to statutory Clean Air standards and prevent harm to public health and childhood asthma deaths
- Potential for damage to retained trees
- Impact of tree losses on climate change and the Climate Emergency, noting that mature trees must be preserved and that loss of mature green infrastructure cannot be mitigated by 'replacement planting', as such planting will not mature within a normal human lifespan
- Increased flood risk from increased pressure on drains and increased surface water runoff
- Flooding assessment is unconvincing
- Increase in pressure on the sewerage system / lack of information on the impact on the sewerage system – sewers are already overloaded and can smell badly during heavy rain periods
- Concern that the development would not be permitted under SuDS due to the lack of permeable materials given the ratio of build area
- Bat roosts and bird nesting sites need addressing.

Process

- The Council has made no attempt to discourage this wholly inappropriate application and it's consideration of this proposal is 'utterly hypocritical' and inconsistent, with the objectors noting that they have minor applications (for

solar panels, new windows etc) refused on grounds of harm to the Conservation Area

- The Council has a duty to represent the people and their interests
- Lack of community wide information and discussion by the developer, such as leafletting or public meetings
- Question whether an environmental assessment, a health impact assessment, asbestos assessment and Welsh language impact assessment have been undertaken
- Extension to consultation period requested, given the 'cynical move' by the developers to launch it in during the key holiday period (31st July – 28 August) and over a bank holiday and when there are no surgeries with local councillors
- Concern that local councillors were not consulted during the PAC stage – a mandatory requirement – denying the local community a chance to discuss the development prior to submission of the application – and noting that this failure needs to be addressed before the application can continue.
- The application contravenes over 60 of the Council's planning rules (including KP4, KP5, Tall Buildings SPG, Cathedral Rd Conservation Area Appraisal, T5, Manual for Streets, EN9, EN13, T1, KP18, Waste SPG, C1, KP2, Cardiff Residential Design Guide, Historic Environment (Wales) Act 2016), Infill Sites SPG and is contrary to the Well-being of Future Generations Act
- The area is not a Strategic Area for Development (KP2) and there is no strategic need for the development - the development may detract from the Council's stated objective to develop the City Centre
- The coach house has had its original doors removed and glass front installed and is being used as an office, querying what enforcement action will be taken.

7.4 Cllrs Gordon and Singh OBJECT to the application and request it be refused on grounds of

- High density and overbearing massing of the proposed blocks of flats on neighbouring properties
- Damage to the character and heritage of the Cathedral Rd Conservation Area, noting:

There was no opposition to the 2016 approved development for a 3 storey, 1700m², office building, similar in style to the existing houses on Cathedral Road and conversion of Numbers 37 to 39a to 12 flats. We recognise that this is a key site, in the increasingly popular area of Pontcanna, will be developed. The scale of this proposed development, in terms of height and sheer bulk, both on the Cathedral Road frontage, and at the rear to provide 51 flats is, in our view, totally unacceptable.

The proposed scheme does not follow the Cardiff LDP principles of good design where development should fully respect its local context and integrate with the adjoining areas. The proposed development harms the unique character of Cathedral Road. It is not an appropriate density for an area characterised by Victorian terraced houses. The designation of the Cathedral Road Conservation Area in 1972 gave formal recognition to its historical and architectural quality. Cathedral Road is the best example of a late Victorian street in Cardiff and the

adjoining streets are fine examples of smaller late Victorian terraced villas. In the LDP Key Policy KP5 i - the layout, scale, form, massing, height and density should be in scale with the surrounding streets like Talbot Street, Ryder Street and Cathedral Road itself. These blocks of flats will rise over and completely overshadow the rear of houses in Ryder Street in particular. With regard to KP5vii we have concerns as to whether the old sewerage system will cope with such a large new development.

Another concern is over the potential loss of the protected Copper Beech tree that is in the corner of site near the rear lane leading off Talbot Street. It is a mature tree with a beautifully shaped canopy. Though scheduled to remain in the plans we are concerned that the root system will get damaged by the construction vehicles and loading of materials and machinery brought on to the site.

The name of the development - 'Cathedral Gardens' is rather a misnomer as there is no green landscaping to be seen on the plans. The space between the blocks of flats all being taken up with hard standing for the 26 car parking spaces. In addition the mature beech tree, mentioned above, is at risk of root damage and subsequent removal, as too are the mature trees currently on the Cathedral Road frontage. Ahead of planning permission being granted the developers have converted a small garage advertising the development, presumably to become the site / sales office. A scheme of courtyards and town houses / flats built to the same roof ridge height of Cathedral Road houses would complement the existing neighbourhood. There is great opposition from our constituents to this proposal, from neighbours directly affected by the scale of the buildings, and residents of the wider Pontcanna community who wish to see the Cathedral Road Conservation Area enhanced by sensitive, high quality design and detail.

7.5 Mark Drakeford AM and Kevin Brennan MP OBJECT on the following grounds

- The density of development – introducing an additional 51 dwellings at this small site – some of which would have two bedrooms – represents significant overdevelopment
- Damage to the character of Cathedral Road – the proposed design is not in keeping with neighbouring properties and the historic character of Cathedral Rd
- Environmental Impact – there are a number of mature trees at this site, which falls within a Conservation Area. The development poses a threat to the trees, with no significant landscaping proposed.

Responses received in respect of the December 2019 (2nd) amended plans submission

7.6 In response, 51 letters of objection / representations were received from owners/occupiers of the following addresses: 41/43, Flat 1 at 86, 190 Cathedral Rd, 30, 32, 36, 38, 40, 54, 60, 62, 72, 94, 98 Ryder St, Carriage House Talbot St, 13, 15, 18, 19, 26, 28, 30, 32, 37, 42 Talbot St, 3 Talbot Place, 9, 36 Plasturton Gardens, 5 Plasturton Place, 49, 151 Kings Rd, 104 Llanfair Rd, 93 Farleigh Rd, 14 Berthwin St, Glan Y Morfa Llangadfan (Welshpool), the Civic Society and 10 of unspecified address. Many objections re-state previous

objections (which are not repeated below), with many noting their previous objections have not been addressed. The following new issues are raised:

- Although the amended plans are not as extreme, they are still unacceptable and do not give due consideration to the Conservation Area, local residents or the effect on local infrastructure
- The modern townhouses harm the Conservation Area
- Harm to the Conservation Area from Block B to the rear, which is still too bulky, rectilinear and overbearing. Concern that it will be used as a precedent to future work at the rear of Cathedral Rd properties, north of Talbot St
- The redesigned blocks A (including townhouses) and B show minor acknowledgement to detailing and use of high quality materials, but architecturally belong in Cardiff Bay not here. The developer needs a complete rethink.
- the privacy, outlook and well-being of Ryder St residents would still be harmed, particularly by the amended Annex B – despite its reduced height, from rear windows, balconies and potentially the roof garden. Whilst balconies on rear extensions now face inwards to the courtyard those on the end will still overlook Ryder St
- The site is still overdeveloped and too high density, and the number of flats, whilst reduced, still unacceptable, causing issues with parking, pollution (air, noise and light), congestion and pressure on existing infrastructure
- Query as to why the townhouses have 2 parking spaces
- Concern over traffic impact of refuse collection from Talbot St
- Concern over noise impact from proposed vehicle entry gate
- The decision not to retain the trees on the boundary is unjustifiable given the Climate Emergency and air quality/health issues and their importance for biodiversity
- The green space indicated in the plans is misleading
- Lack of assessment on the effect of the development on the water table and nearby drainage
- Question as to where the volume of water would go that would collect in the undercroft car park area and what effect it would have
- Agree that mitigation measures can be provided for roosting bats and nesting birds
- Request for the consultation period to be extended as plans were unavailable regularly on 15/12/19.

7.7 **Cllr Gordon OBJECTS** to the amended plans, advising that, despite the reduction in the number of units, the bulk of the buildings are overbearing and impact negatively on neighbouring properties and that the choice of brick work is out of keeping with the Cathedral Rd Conservation Area.

Responses received in respect of February 2020 (3rd) amended plans submission

7.8 112 letters of objection / representations were received from owners/occupiers of the following addresses: 71, 41/43, 67, 85, 197 Cathedral Rd, 2, 26, 28, 29, 30, 31, 32, 34, 36, 38, 40, 52, 54, 72, 74, 88, 90, 94, 98 Ryder St, 4, 13, 18, 19, 28, 29, 34b, 39, 40, 47 Talbot St, 3 Talbot Place, 16, 58 Hamilton St, 27 Severn

Grove, 63, 151, 174 Kings Rd, 93 Farleigh Rd, 6, 15, 31 Plasturton Av, 8, 9, 13, 14, 19, 22, 26 Plasturton Gardens, Friends of Plasturton Gardens, Member of the Pontcanna Cycle Group, 3, 5, 9 Plasturton Place, 72 Windway Rd, 7 Pitman St, 75, 83 Conway Rd, 16 Clive Rd, 14 Berthwin St, Glan Y Morfa Llangadfan Welshpool, the Civic Society and 39 of unspecified address. These re-state previous objections, which are not re-stated here, and new issues:

- The original plans were extreme, the second amended plans un-acceptable and the third set do not show hardly any changes at all
- None of the comments submitted have been addressed and all previous objections should be considered
- The SuDS strategy is a token gesture– recent storms have highlighted the need for proper flood prevention and sustainable drainage
- Effect on flood risk, ground water levels and drain water flooding from the development and underground parking area, with a need to assess the capacity of existing and proposed drains, noting that drains in the area continually overflow, flooding roads and pavements
- Impact on cycle to school route
- Lack of emphasis on sustainability, with no electric car charge points, insufficient cycle parking and lack of consideration of renewable energy
- The height of block B has increased and there are drawing inconsistencies
- Dismay that the Council has encouraged the proposal to go this far; it is a waste of Council and residents time and resources fighting such an unreasonable proposal
- The Council should reject the application instead of allowing the developer to submit slightly amended plans in the hope of wearing down local residents' resistance
- Query as to whether the previously submitted petition is still valid
- The back lane access will harm access to residents' garages accessed off the lane
- Servicing and access will be impossible leading to increased litter and harm to street scene from unsightly number of refuse collection bins
- The Council seems more interested in reaping s106 financial benefits
- The Talbot St elevation is particularly unsympathetic, notably the red brick and asymmetrical positioning of the unsightly large windows with black frames. The Cathedral Rd elevation is more sympathetic in incorporating a natural stone colour, but is still a significant departure from the architectural style in the Conservation Area
- The proposed loss of trees would contravene section 6 of the Environment (Wales) Act 2016 and green infrastructure policy in PPW (6.2.1, 6.2.4) and approving the application would be to fail to give weight to the environmental and social benefits of trees and PPW. The Council's Climate Emergency Declaration is a material planning consideration and the Council needs to consider the role the trees play as carbon sinks for emissions, particularly as replacement trees would not reach maturity in a timeframe that would offset the effects of climate change. Awarding permission would pave the way for legal action
- The whole debacle stinks of mis-representation and corruption.

- 7.9 **Cllr Gordon and Cllr Singh OBJECT** to the development. Whilst welcoming the modest reduction in the overall size of development and the number of units, and the sloping roof-line, they object on the following summarised grounds:
- Negative impact on the Cathedral Rd Conservation Area -overdevelopment and totally out of character. The design of the elevations and proposed materials do not enhance the Conservation Area.
 - The red brick colour is totally out of place - the red brick used along Cathedral Rd is dark red and elevations broken up with architectural detailing and decorative features. The Talbot St and Cathedral Rd elevations should be faced with a sympathetic render or ideally Pennant sandstone.
 - Loss of 7 mature trees would be visually and environmentally harmful. The canopy has great value in fixing carbon and mitigating the effects of climate change and air pollution. The replacement trees will not replace the carbon reduction capacity for many years.
 - The very narrow access to the rear of the site with poor sight lines will be dangerous for people on bikes, foot and in cars.
 - Increased traffic movements and pressure on on-street parking. The amount of parking is in line with Council SPG but in reality there will be residents with more cars. Lack of parking is the main reason people move out of Pontcanna and residents are very worried about the impact of more demand on available road space for parking.

Responses received in respect of March 2020 (4th) amended plans submission

- 7.10 54 letters of objection / representations were received from owners/occupiers of the following addresses: 162 Cathedral Rd, Carriage House, Talbot Street, 4, 13, 18, 23, 28, 30, 32, 39, 42, 59 Talbot St, 3 Talbot Place, 2, 26, 30, 32, 34, 36, 40, 66, 68, 72, 94, 98 Ryder St, 1, 5 Plasturton Place, 6, 9, 19, 35 Plasturton Gardens, 7 Pitman St, 27 Springfield Place, the Civic Society and 13 of unnamed address. These re-state previous objections together with the following additional points made:
- Anger that the application is being progressed during the Covid-19 pandemic, when local meetings cannot be progressed, residents are self-isolating, can't get to a post box and are worried and sick
 - The amendments are negligible and all previous objections stand - developers have ignored local concerns
 - Question why the developer is being permitted to submit minor revised plans to initiate a fresh round of consultation, with a concern that the developer is trying to wear residents' resistance down, that it nulls and voids previous objections and almost amounts to harassment
 - Request that additional time is granted/the deadline is extended indefinitely / until after the lock-down / the application put on hold in light of the Covid-19 pandemic
 - Objectors should be allowed to speak at planning committee, but this is unlikely to be allowed in this climate as procedures can't be followed
 - Allowing people to move around urban spaces safely should be of paramount importance as cities look to recover from the Covid-19 crisis –

physical distancing will become the norm and needs to be considered without impacting on pollution.

- Climate change should be at the forefront of any new design and should support green ethical decisions
- Impact on flooding - During the recent flooding the drains in Talbot Street/ Cathedral Road were already at absolute capacity- dirty water from the drains was flooding pavements. In Sophia Gardens the river burst it's banks, posing a serious flooding risk. We need more areas of green space to soak away water, not more concrete.
- Block B is particularly intrusive/overbearing, should be no more than 2 storeys high and set back further from the lane and will still be visible to residents within the Conservation Area, if not from Cathedral Rd
- Impact on future well-being of residents
- Query as to where bins will be stored and left for collection, with concern over impact on environmental health and that the pavement or road will be blocked, as happens elsewhere
- Several telecommunications cabinets are positioned in front of the proposed townhouses and moving these will disrupt existing residents
- Traffic and cycle access - concern that the covering letter suggest that transport officers are happy with the scheme, query as to how safety can be ensured, whether the transport officer visited the site, and request that their report should be made public
- The DAS states there are 24 parking spaces, but there are 23.
- Concern over the noise and vibration impact of any pile-driving undertaken during construction, and risk of structural damage to properties, further to experience of pile-driving at 27 -29 Cathedral Rd in March which was reported to cause houses to shake and cracks to open.

Responses received in respect of September 2020 (5th) amended plans submission

7.11 110 letters of objection / representations were received from owners/occupiers of the following addresses: Castle Court 6 Cathedral Rd, 162, 224 Cathedral Rd, 3, 4, 7, 13, 18, 19, 21, 22, 28, 29, 30, 32, 39, 42, 43, 44, 47, 59 Talbot St, 3 Talbot Place, 30 Hamilton St, 3, 30, 32, 34, 36, 38, 40, 42, 52, 54, 62, 80, 92, 94 Ryder St, 5, 7 Plasturton Place, 6, 19, 22 Plasturton Gardens, 49, 55, 63, 88, 140, 151 Kings Rd, 15 Pontcanna Place, 19 Mayfield Av, Flat 4 Caernarvon Court Conway Rd, 14, 16 Berthwin St, 69 Glamorgan St, 90 Llanfair Rd, 93 Farleigh Rd, 32 Gd Floor Penhill Rd, 27 Springfield Place, 23 Maldwyn St, 23 Lily St, 73A, 289 Cowbridge Rd East, 4 St Philbert St, 34 Wyndham Rd, 16 Clos Hendre and the Civic Society and 30 of un-named address. These re-state previous objections, which are not re-stated here, and the following new summarised objections and representations:

- The developers haven't acknowledged or addressed residents' concerns again – there is little change and the submission suggests this is a 'done deal', with queries raised about the relationship between councillors and senior staff with big developers
- The design would become tired and dated within a few years
- The plans do look nice
- The lift shaft adds additional bulk to Block B

- Noise impact from sliding vehicle entry gate
- Impact on structural viability of neighbouring properties from use of lane
- Limited access for utility services and lack of assessment of impact on electrical and water supply, and sewerage network, and future disruption when adequate infrastructure is installed
- Impact on daylight to Ryder St properties from height of new build
- The introduction of 1.7m privacy screens and obscure glazing to prevent overlooking to Ryder St is a token gesture, noting they can be removed and that enforcing their retention will fall to local residents and put pressure on Council resources
- Impact on safety from overlooking of Ryder St dwellings
- The Civic Society confirm that their lawyers still assert that the proposed development would have a severely detrimental impact on the character of the Cathedral Rd Conservation Area and would in no way protect or enhance the area's heritage
- The Vicarage building is one of a kind in the area if not Cardiff
- Question whether the Cathedral Rd Conservation Area group is still in place and if they have commented
- There is no need for new flats; there are over a 1000 long term empty properties in Cardiff and most of the flats will remain empty
- Cumulative impact with 3 other major developments under construction in the area (former care home on Cathedral Rd, and schemes on Sophia Close and Hamilton St)
- Increase in traffic and pollution on Cathedral Rd and other streets from the closure of Castle St and on-going issues arising from the Covid-19 pandemic
- Pandemic has highlighted the need for climate change, liveable spaces, enhanced living standards, physical distancing and safer movement around urban spaces to be given priority over development viability and working from home will increase the impact of the development on health and well-being
- Impact on flooding from new residents and increased paving, and concern that the flood wall will cause water to run into the street, noting that highway drains can't cope and that Talbot St and Cathedral Rd flood
- Noise pollution, littering, rats and anti-social behaviour have increased
- The Council is not adhering to the Historic Environment (Wales) Act 2016
- Fear of precedent and non-compliance by local residents and new developers
- The office building needs to be demolished to improve sight lines
- Mitigation for exacerbating parking pressures should include 100% residential parking for existing residents along Talbot St and Ryder St, query about what control measures would be in place to prevent over parking and use of residents' parking
- Section 106 financial contributions for affordable housing should be an absolute requirement, with no negotiation post approval
- Impact of new buildings on peace and wildlife enjoyed in local gardens

7.12 **Cllr Gordon OBJECTS** to the development, as follows:

I object to the latest amended plans under the Local Development Plan Key

Policy KP 5: Good quality and sustainable design. I do not feel the plans respond to the local character and context of the Cathedral Road Conservation Area. The layout, scale, form, massing, height and high density will impact on the built heritage of the grand late Victorian street scene of Cathedral Road.

I support the large number of residents living near this proposed development who have sent in their objections, particularly residents in Ryder Street, Talbot Street and Cathedral Road. The concerns are mainly about the scale, massing and overbearing form of the rear extensions on the rear of properties in Ryder Street. Several residents also raise concern about the possible structural damage to their properties from the pile driving and preparation of the site. KP x. states that development should not have an undue effect on the amenity of neighbouring occupiers and should connect positively to the surrounding community.

I am pleased to see in the amended Arboricultural Impact Assessment, that 4 category C trees T1 T2 T5 and T6 are to be retained. They will need maintenance attention as there is a lot of overgrown ivy on them. The tree canopy which makes this an attractive and ecologically important corner with Talbot Street will remain intact.

8. **ANALYSIS**

8.1 The key issues for consideration are:

(i) The acceptability of development in land use policy terms

8.2 As noted in section 2, all buildings on the site have been vacant for approx 3 years and were last used as offices owned by Church in Wales, and the surrounding area is a mix of residential and commercial uses, including offices. The site falls within the settlement boundary, as defined by the LDP proposals map and has no specific designation or allocation. As such, the vacant offices are afforded no protection in land use policy terms and there is no objection to the loss of office floorspace.

8.3 Policy H6: Change of Use or Redevelopment to Residential Use provides a framework for the assessment of proposals for the redevelopment of previously developed land for residential purposes within settlement boundaries. In terms of policy H6 criterion (i), there is no overriding need to retain the existing office use and no overriding alternative land use requirement, noting: that the office use is not afforded any policy protection, the need for new housing, and that the principle of the loss of office use, the demolition of 39a Cathedral Road and the proposed residential use of nos 37-39 Cathedral Rd and their conversion to flats has been previously established with the grant of planning permission 16/01817/MJR. In addition, given the location of the proposal within the settlement boundary in a highly sustainable location in close proximity to the city and well served by public transport, and the context and setting of the surrounding area, the application raises no land use policy concerns. This consideration applies also to the proposed retention of the B1 use within the garage/outhouse for use as an office, noting that this is the established use of

the building, as the garage is B1 by virtue of being associated with the existing B1 use of the whole site. The acceptability of the proposal in terms of its impact on the amenity of future residents (criterion ii) and the operating conditions of existing businesses (criterion iii), the accessibility of community and transportation facilities (criterion iv) and risks to end users from land contamination (criterion v), is considered further below.

(ii) Design and Impact on Heritage Assets

- 8.4 Section 2 identifies the heritage assets that are relevant to the consideration of the application. These include the site's location within the Cathedral Road Conservation Area, the grade II listed telephone box outside no 39A on Cathedral Rd, a number of grade II listed buildings to the SE of the site, a number of locally listed buildings in the vicinity of the site, a scheduled monument – GM173 Dominican Friary - approx 415m to the east of the development, the Gd II registered historic park and garden Sophia Gardens (PGW (Gm) 21 9CDF) approx 70m to the east of the development and the grade 1 listed Cardiff Castle and Bute Park (PGW (Gm) 22 (CDF)) approx 223m to the NE. None of the buildings within the site are statutory listed buildings.
- 8.5 Given the site's location within the Cathedral Rd Conservation Area, there is a requirement under Section 72 (1) of Planning (Listed Buildings and Conservation Area) Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of that area. Further to Section 66(1) of Planning (Listed Buildings and Conservation Area) Act 1990, in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority is required to pay special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 8.6 Policies KP17 (Built Heritage) and policy EN9 (Conservation of the Historic Environment) provides protection for the full range of assets that make up Cardiff's historic environment. In terms of wider design considerations, policy KP5 (Good Quality and Sustainable Design), amongst other things, requires that all new development should be of a high quality, sustainable design and should satisfy various criteria, including criterion (i) of '*responding to the local character and context of the built and landscape setting so that layout, scale, form, massing, height, density, colour, materials, detailing and impact on the built and natural heritage are all addressed within development proposals*'. The Council's Infill Sites SPG and Residential Design Guide are also relevant.

Impact on the Cathedral Road Conservation Area

- 8.7 The Cathedral Road Conservation Area Appraisal identifies the character of the Conservation Area and provides guidance for its protection and is a material consideration. The following extracts of the character analysis are considered particularly relevant:

A Distinctive Quality of Place (section 3.1).

The area's distinctive quality is derived from its historic road layout, and the ambitious development undertaken by the Bute Estate. Cathedral Road was designed as a grand avenue. Though plot size and layout were prescribed, the

Estate offered architectural freedom in design and materials. A more standardised approach to house type and design was adopted in the layout of the streets behind Cathedral Road, showing a hierarchy of design to reflect land value, and social class too.

Terraced houses predominate. The most common house plan shows two rooms on each floor, with a lesser and plainer extension lying behind. There is often a paired front door arrangement creating a unified rhythm along the street. Terraces are often composed as one elevation, with higher gables placed in the centre and at each end to provide visual emphasis.

The key to the area's quality is the relationship of houses with the road.

Building lines are continuous with no outward projection to the façade other than bay or porch. Low front walls, dividing walls and gate piers are all designed to contribute to composed street facades.

The Presence of Landmark Buildings and Landscape Features (section 3.2).

The most imposing houses and building groups lie on Cathedral Road and here distinctive roof forms and elevations are shown to their best advantage. There are few landmark buildings save those where a contrast in building style distinguishes house or building groups. The former synagogue, St Mary's at the top of Talbot Street and the Presbyterian Church on Cathedral Road are the exceptions. Elsewhere, definition and variety is created by building detail and ornamentation or by the dramatic skylines created by distinctive roofs and bays.

High quality or unusual materials (section 3.4)

The widespread use of Pennant as the dominant building stone gives the area its special character. It is of good quality and laid in regular courses with a rock face finish and thin mortar joints. It is usually partnered by Bath stone dressings in bays, window cornices and parapets. The grander the house or terrace, the more decorative is the use of Bath stone.

Brick has also been used in the Conservation Area either as the main facing or in dressings and external walls. It is often used to contrast or complement Pennant in a lively multicoloured pattern. Half timbered gables or upper floors and bays often supplement and exaggerate this design approach.

Natural slate roofs are important too, though a significant number now have artificial slate. They are steep, often with prominent or hipped gables rising flush from the wall face. This is a common feature in end of terrace units where roof form adds definition to the street frontage too. Gables are often decorated by fretted bargeboards, finials and parapets. Above, chimneys rise in ranks to define plot rhythm and building layout. The overall effect creates a strong geometric urban layout, with long vistas and distinctive sky lines.

- 8.8 Section 3.5 of the Appraisal reports on the high quality architectural detailing that characterises the Conservation Area, in respect of stonework, joinery, doors, porches, railings and boundary walls, and roofs, chimneys and dormers, giving Conservation Area its characteristic richness.
- 8.9 Section 4.1 provides a detailed assessment of a sub-area of Special Character from Cowbridge Road to Sophia Close, within which the application site sits. It is notable in highlighting the dominant and intrusive appearance of the adjacent site:

- *This is an important tree lined route leading north from the city,*
 - *Buildings are largely in commercial use,*
 - *There are some modern building which are intrusive in the street scene for example the petrol station, and two very dominant high rise blocks at 31-37 Cathedral Road.*
 - *A number of properties have substantial office extensions to the rear.*
- 8.10 The Appraisal lists a number of issues that affect this sub-area, of which the following are considered to be particularly relevant:
- Anonymity, and loss of local identity through commercial users by day, and abandonment by night,
 - Poor maintenance of forecourts and open garden areas
 - Car parking on streets and in gardens detracts from the character of the area
 - Some substantial extensions to the rear of buildings undermine the integrity of built form and the aspect west from Sophia Gardens
 - Pressure of higher residential densities
 - Gardens and railings have been removed and forecourts paved.
- 8.11 The Appraisal also identifies a number of ‘enhancement opportunities’, of which the following are considered particularly relevant:
- Reinstatement of front gardens as development opportunities arise
 - Reinstatement of front and rear boundaries to redefine the area’s historic layout
 - Scope for the return of residential uses to appropriate sites
 - Scope for enhancement to the aspect to Sophia Gardens
 - Removal of parking from rear gardens
 - A reduction in the scale of rear extensions.
- 8.12 The Framework for Action (section 5) identifies a number of opportunities presented by the appraisal, including the need to maintain the special character of the existing Cathedral Rd Conservation Area and to ensure that new developments are well integrated. Amongst a list of issues to address are: continued pressure to alter and extend buildings and gardens, continued pressure for street parking and disruption to traffic as a result, continued traffic congestion both within side streets and on Cathedral Rd and a conflict between retaining the quiet ambiance of the area and its popularity as an inner city residential area, leading to higher densities.
- 8.13 Appendix 1 of the Appraisal document provides guidance on development in the Conservation Area in respect of detailed elements of the built form. Section 15 on Extensions and New Development is particularly relevant. This advises that *‘whether a traditional or contemporary design approach is adopted, the success of new developments and extensions to existing buildings in the conservation area will require an understanding of its special interest’* and notes that they will be *‘required to preserve or enhance the character and appearance of the conservation area by respecting the area’s historic context’*. It is noted that this can be expressed in: existing vertical and horizontal rhythms in the built form, retaining important views and vistas in and out of the conservation

area, respecting the existing land uses, reinforcing the existing hierarchies of public and private space, using materials and architectural details which are as high in quality as those used in existing buildings and respecting established plot size and garden layouts within the conservation area.

8.14 The proposals have followed a lengthy pre-application and application process, where hundreds of objections have been received, officer concerns have been raised and attempts made to overcome them through multiple revisions. When considered as a whole and subject to the recommended conditions, it is considered on balance that the scheme would meet the test of preserving the character or appearance of the Conservation Area, would also deliver key enhancements and meet the related requirements of policies KP17, EN9 and KP5 (i), taking the following matters into consideration:

- *Demolition of the vicarage* - The principle of the demolition of the vacant vicarage building at 39a Cathedral Road and the rear annexes of 37 – 39 Cathedral Rd has been established by the granting of Conservation Area Consent 16/01818/MJR, which is still extant, such that the loss of the former vicarage building and the rear annexes is accepted.
- In considering the acceptability or otherwise of the proposals that would replace the vicarage building, it is recognised that the vicarage building is itself an anomaly, in that it does not conform to the established character of Cathedral Rd. It is of a very different style to the Victorian and Edwardian properties lining Cathedral Rd, particularly in terms of its detailing, scale and massing. Whilst the Vicarage sits quietly in the street scene and provides a comforting, country garden form of architecture within the context of Victorian and Edwardian villas, and is part of Cardiff's history, it is not exceptional or essential to the character of the area and adds to the diversity of styles in the immediate area.
- *Block C* - The vacant, historic villas at 37 and 39 Cathedral Rd would be retained and returned to beneficial use through their conversion to residential use as 11 flats (as Block C), and the low quality, modern rear extensions demolished, all of which is welcomed and represents an enhancement. The return of residential uses to appropriate sites is recognised as an enhancement opportunity in the Conservation Area Appraisal and it is also noted that extant permission has established the principle of the acceptability of conversion of the villas to flats (16/01817/MJR).
- The external alterations proposed to the villas are acceptable, subject to the recommended conditions, and include the insertion of replacement timber sliding sash windows, inset balconies at the rear roof level, a new rooflight, the retention and refurbishment of the existing front door to no 37, a new front door to no 39, the removal/ alteration of some rear windows, and the replacement of existing rain water pipes and render. Rain water goods to the front would be black cast aluminium and those to the rear, black PVC. The insertion of the rear inset balcony to the roof of both villas and the new rooflight would be acceptable, noting that they are relatively discreet, would not be prominent within the roof scape and that the balconies would be subject to a condition to ensure that they are well detailed and use appropriate materials that would recede visually.

Conditions are also recommended to control the detailing of the replacement sash windows and doors.

- Block A - The revised form of the new apartment building Block A, in the prominent corner position of the former vicarage, responds much more positively to the character of the area when compared to previous iterations and is now considered to be acceptable, subject to conditions. The front elevation is designed to reflect the established building line, plot width, the characteristic strong vertical emphasis, the spacing between buildings, the scale, massing, building form and rhythm of gabled villas, and now includes a pedestrian entrance to the front of the building that is typical of the area, all of which are welcome. Whilst contemporary in style, the building form with its dual bay fronted layout and two gables is more responsive of the established character than the vicarage building it would replace and is sympathetic to adjacent buildings in terms of its ridge and eaves height, roof and gable pitch and building footprint. In term of detailing, the building adopts a contemporary interpretation of the stone bays and gabled frontages that are characteristic of the area. The frontage onto Talbot Street is now also acceptable, following a significant reduction in its massing and amended detailing, and now projects back into the site to the same depth as the historic villas.
- The materials proposed for Block A are acceptable, and include brickwork with colour to match the existing, detailed in a Flemish bond, rather than modern stretcher bond, and Bath stone bays rather, than reconstituted stone bays. The use of natural stone, rather than the reconstituted stone initially proposed, is considered essential and the recommended materials condition expressly requires this, for the avoidance of doubt. The materials condition also specifically requires the bricks to be an imperial, stock brick (as opposed to wire-cut) and for them to be laid in Flemish bond, which is also considered essential. Whilst third parties have objected to the use of red brick, it should be noted that both the existing Vicarage building and its replacement approved under pp. 16/01817/MJR were both red brick and that red brick, laid in Flemish bond, is a characteristic of the Conservation Area (eg. 10 Cathedral Rd, 11-13 Cathedral Rd, 6- 8 Pontcanna St, north side of Teilo St, south side of Dyfrig St). It is considered that the existing brick, which the plans propose to match, would be acceptable in principle, as it is muted, has hues of dark grey and brown which tie it to the grey brown pennant and red hues in the polychromatic stone found in the locality (eg the coach house opposite the garage). The black, aluminium frame sliding sash windows proposed for Block A, whilst not in characteristic timber, are also considered acceptable in this instance, noting that they reflect established window proportions, that aluminium windows were approved on the previously consented scheme (16/01817/MJR), that aluminium still allows the delicate frame proportions to be replicated and that the policy approach is to preserve existing timber sash windows, with there being more flexibility for new work or replacement of non-timber or non-sash. Conditions are recommended to control architectural details, windows and materials. The contemporary design of Block A is also considered acceptable in this part of the Conservation Area, noting that the previously approved scheme adopted a contemporary approach and that a number of modern developments have been approved

in the vicinity, including to the rear of 32 Cathedral Rd (18/02601/MMJR) and opposite at 30 Cathedral Rd. Whilst not sitting so quietly in the street scene, it is considered that Block A – subject to the careful detailing and materials required by condition - would make a contribution to the character of the Conservation Area that is equally, if not more responsive, to the surrounding street scape than the scheme approved under pp 16/01817/MJR and, arguably, the vicarage building, particularly given its current state.

- *Town Houses* – The terrace of three town houses fronting onto Talbot Street have been proposed through amended plans to address concerns raised about scale and massing of the annexe initially proposed to the rear of Block A. Their scale and massing is acceptable and appropriately subservient to Block A. Whilst designed as a building in their own right, with an active frontage onto Talbot St, they are appropriately set back from Block A and provide a characteristic strong vertical rhythm. They adopt a contemporary flat roof form, being relatively simply detailed apart from frameless glazed oriel windows which offer a reinterpretation of oriel and bay windows found in the conservation area. A condition is recommended to require full architectural detailing of the Talbot St elevation, to ensure it is delivered to an appropriate quality. Whilst their flat roof form is unusual in the area, it is not unique, with flat roofs present to the rear of 30 Cathedral Rd opposite and also proposed at 32 Cathedral Rd and on the town houses approved at 27 – 29 Cathedral Rd (17/02605MJR). The extent of the horizontal emphasis which normally characterises flat roofs is minimised by the visual interest and rhythm created by the three overhanging asymmetrical canopies and the use of alternating projecting and recessive elements. Overall the town houses are considered to be of an appropriately high design quality. The materials proposed are acceptable, subject to condition, and include walls faced in red brick (to match the existing), light grey through colour render, black slate cladding to front and rear entrances and metal cladding, with black aluminium frame windows and doors. A condition is also recommended to ensure that the bin storage is sensitively designed.
- *Block B* – The design of Block B to the rear of no 37 Cathedral Rd is contemporary, functional in appearance, flat roofed and large. The palette of materials would reflect those used in the townhouses and would be subject to condition, also requiring bricks to be laid in Flemish bond. Whilst, Block B is considerably reduced in both height and length and its roof is now lower in height than the historic villa it sits behind, it is, none-the-less, significantly greater in scale, massing and depth than the annexes that are typically found to the rear of historic villas in similar positions. It also fails to respond to Conservation Area Appraisal guidance, which identifies ‘a reduction in the scale of rear extensions’ as an enhancement opportunity and the need for extensions and new development to respect ‘*established plot size and garden layout*’. Notwithstanding this, it is considered that Block B would not represent a reason to resist the overall scheme, for the following reasons: its overall impact would be limited by its stepped design, its separation from the historic villa, its position deep within and to the rear of the site, the partial screening provided by the existing garage building, proposed townhouses and retained large beech tree, and the very limited

public views towards it. It would not be visible from Cathedral Rd or Hamilton St, and there would only be limited views from Talbot St between buildings and trees. The rear service lane would present the most open, but least sensitive, public views of the site. The backdrop provided by the more substantial office building to the south, is also material to the consideration of the acceptability of Block B in this particular location. The current view into the site from Talbot St is much more open and harmful, taking in the greater expanse of hard surfaced car park across the vacant site, the entirely unsympathetic and larger flank of 35 Cathedral Rd and the unsympathetic, flat roofed modern extensions to the villa at 39 Cathedral Rd. Whilst the poor quality of its larger neighbour at no 35 Cathedral Road does not justify further increase in scale and massing, Block B and the 3 townhouses would block the existing very open and prominent view from Talbot Street across a hard surfaced car park and towards the unsympathetic side elevation of 35 Cathedral Road, which would represent an enhancement. Taking into consideration the above and notwithstanding the concerns noted, it is considered that Block B would not represent a reason to resist the overall scheme.

- Garage – the existing garage building and its established B1 office use would be retained. The proposals to provide a bi-fold timber garage door in front of the unauthorised Upvc doors already installed are considered to be acceptable and a condition is recommended to ensure that these are provided, carefully detailed and retained.
- Landscaping – Whilst the existing grassed area to the side and rear of the vicarage would be lost, the proposed scheme would provide a greater area of soft landscaping than both the existing situation and the approved scheme 16/01817/MJR, which would represent an enhancement to the Conservation Area. The scheme provides a courtyard design, with a raised central landscaped terrace. The existing harmful, paved forecourt to the front of 37-39 Cathedral Rd would be removed and a landscaped front garden reinstated, complete with new tree planting to reflect the traditional historic treatment of front gardens. This is welcomed, with the Conservation Area Appraisal document citing the reinstatement of front gardens as an enhancement opportunity. The landscaping scheme would also include landscaped open space to the front of block A, to the front and rear gardens of the town houses, to the south of the town houses, to the rear of Block B and a green roof to Block B. The application would remove a prominent expanse of tarmac / parking from public views from Talbot Street which represents a further enhancement. It would also obscure approx. half of the parking spaces by locating them below ground level under the landscaped deck and Block B. This is welcomed and represents a further enhancement, as the CAA identifies '*car parking: on streets and in gardens detracts from the character of the area*' as an issue. A condition is recommended to control the detailed design and aftercare of the landscaping and tree planting. In this way, the scheme would also address the identified issue in the CAA of 'poor maintenance of forecourts and open garden areas'.
- Further to provision of additional information, it has also been demonstrated to the Tree Officer's satisfaction that the development would not harm the existing street tree (a C category lime) outside the site on Cathedral Rd, as

initially feared, and that it would retain both the prominent copper beech tree on the Talbot St frontage and trees to the Cathedral Rd frontage which contribute so much to the Conservation Area, and which, together with substantial new tree and other planting, would represent an enhancement of the Conservation Area (see further detail below).

- The boundary wall to the front and sides of 37 – 39A would be retained, with new entrances created, with the details of the new gates and railings (to match existing) controlled by condition to ensure careful detailing. The retention of existing railings and introduction of new railings to match the existing is welcomed, particularly given the removal of railings is identified as an issue in the CAA.
- As noted above, the proposal would bring about '*the return of residential uses*' identified as an enhancement opportunity in CAA and also help address the identified issues of '*anonymity, and loss of local identity through commercial users by day and abandonment by night*'. The CAA also notes that 'pressure of higher residential densities' is an issue, but none of the technical consultees have identified any concerns that would indicate any unacceptable impacts in this instance that would be sufficient to justify an alternative recommendation.

8.15 Taking into consideration the above factors and when considered as a whole and subject to the recommended conditions, it is considered that the scheme is acceptable in design terms and would meet the test of preserving the character or appearance of the Conservation Area and also includes a number of proposals that would enhance the character and appearance of the Conservation Area.

8.16 It is considered that the scheme would satisfy LDP policy KP5, the Infill Sites SPG and Cardiff Residential Design Guide and is acceptable in wider design terms, noting in particular that it would bring a vacant site back into beneficial use, would add vibrancy throughout the day, would be accessible to all users and sustainably located, would provide a legible environment that is easy to get around, would provide a climate responsive design in respect of trees, flood prevention, SuDS proposals and EV charging (required by condition), and would promote the efficient use of land as a scarce resource and add to urgently needed housing land supply. The effect on the amenity of future and neighbouring occupiers is considered further below.

Impact on the setting of Grade II listed buildings and locally listed buildings

8.17 The setting of the statutory and locally listed buildings is characterised by the scale, form and materiality of buildings along Cathedral Rd. For reasons noted above, the development is considered to preserve the Cathedral Rd street scene and it is also considered that the way in which the listed and locally listed buildings along it are experienced – both in terms of views towards and views out from windows within – would be preserved, such that the development is not considered to have a harmful impact on the setting of those buildings.

Impact on scheduled monument, historic parks and gardens

- 8.18 The proposal would not harm the scheduled monument 'GM173 Dominican Friary' or its setting, or the registered historic park and gardens Sophia Gardens and Cardiff Castle and Bute Park or their setting, taking into consideration the form, scale and massing of the development, the separation distances involved, and intervening development and mature trees. It is also noted that Cadw have confirmed they have no objection.

(iii) Impact on the amenity of neighbouring occupiers, future occupiers and the Area

- 8.19 Policy KP5 seeks to ensure that 'no undue effect on the amenity of neighbouring occupiers' results from development. The Council's Infill Sites SPG and Residential Design Guide introduce a number of design criteria for assessing impact on residential amenity, including an assessment for ambient light using the 25 degree rule, a min of 10.5m between developments and adjacent gardens and a min of 21 metres between facing windows at upper floors to ensure acceptable privacy. The proposal has been assessed against the above criteria and it is considered that the scheme would not result in any demonstrable loss of light, or privacy or harm as a result of overbearing outlook, taking into consideration the proposed conditions and separation distances. It is noted that the townhouses would be separated from the rear annexe of 40 Ryder Street by approx 28m and their rear garden by approx 15.8m, that Block B would be separated from the rear annexe of no 32 Ryder St by approx 28m, from its rear extension by approx 25m and from its rear garden by approx 14.2m, that the windows on the rear elevation of Block B would be obscured and fixed (and conditioned to be retained as such), that the green roof on Block B would be prevented from being used as a roof terrace by condition, and that overlooking from balconies would be prevented by means of a privacy screen required by condition. Whilst the privacy screens are not strictly necessary to protect privacy, taking into consideration the separation distances, they are recommended in light of the perception of harm to amenity from overlooking evident from the representations raised, which is capable of being a material consideration. There would not be any harm to residential amenity as a result of unacceptable overshadowing given the orientation of the buildings and separation distances involved.
- 8.20 Amenity of future occupiers – The internal floor area of all flats, and the outlook from and natural daylight to all habitable rooms is considered acceptable. There would not be any harm from loss of privacy from overlooking, given the approx 22.6m separation distances between the townhouses and Block B and the 16m separation distance to their rear gardens and the recommended condition.
- 8.21 The town houses would have their own private amenity space, comprising back gardens of 43m² – 45m², as well as front gardens. The 33 apartments would have access to communal space to the rear of block B (approx 100m²), between the townhouses and the proposed office building (approx 256m²) and to a raised landscaped deck of approx 133m², totalling 489m² against a total requirement of 355m², assessed against the Residential Design Guide standard. Whilst the amenity space to the rear of the site would not be ideal,

as it is not particularly private and or easily accessible, it is accepted that overall the provision of amenity space would be acceptable, noting the more limited provision approved under pp 16/01817/MJR, that 10 of the flats would have balconies and given the site's proximity to residential accommodation to Sophia Gardens and Bute Park to the east and to Plasturton Gardens to the west. Further to comments raised by third parties, the Agent has confirmed that the green roof to Block B would not be available for use as a terrace and this is conditioned, accordingly.

(iv) Whether the proposal would make satisfactory provision for access, parking and circulation, and waste management

8.22 Policy KP5 seeks to reduce reliance on the private car as a means of transport in favour of more sustainable methods. Policy KP6 states that 'development will not be permitted which could cause unacceptable harm to the safe and efficient operation of the highway, public transport and other movement networks'. Policy T5 supports this key policy by seeking to ensure 'that all new developments properly address the demand for travel and its impacts, contributes to reducing reliance on the private car and avoids unacceptable harm to safe and efficient operation of the road, public transport and other movement networks and routes'.

8.23 The site is considered to be in a highly sustainable location being located adjacent to a bus and cycle route, cycle infrastructure and close to the city centre. The Managing Transport Impacts (Incorporating Parking Standards) SPG identifies no requirement for off street parking and provision for cycle parking at a minimum ratio of 1 space per bedroom. Notwithstanding the considerable objections raised in terms of the provision of and pressure for car parking and the impact of this on residents' daily lives, Transportation advise that car parking standards are maximums and that technically no car parking is required, such that the proposal for 23 car parking spaces is SPG compliant. The proposal for 56 cycle parking spaces for the flats exceeds the SPG standards, which is welcomed. Amended plans have addressed concerns raised by the OM Transportation over car and cycle parking design/layout, subject to the recommended conditions and the developer has agreed to a condition to require the provision of EV charging in line with Council guidance, which is welcomed. Concerns raised by Transportation over access to the site by users with mobility issues and those requiring wheelchair access have also been addressed, through the provision of a platform lift.

8.24 Whilst objectors have also raised significant concerns over the safety of the access from the rear lane and onto and along Talbot St, the OM Transportation has raised no objection, noting that the site is currently accessed via the rear lane, that the amount of car parking is reducing on-site and that safe access could be maintained through the introduction of appropriate parking restrictions being introduced onto the bellmouths of the northern and southern extents of the lane and around onto Talbot St and Hamilton Street to avoid parked cars causing concerns, such that a Stage 1 Safety Audit would not be required. Parking restrictions would be secured through a s106 financial contribution of £12,000 to include the costs of the TRO process, which the developer has agreed to provide, which is welcomed. Transportation also note that given the

reduction in on-site parking supply in comparison with the extant permission (38 spaces) and the relative scarcity of adjacent on-street parking, it is not considered that the proposal is likely to have significant traffic issues in comparison with the consented development, whilst accepting that travel patterns will be different with 100% residential use. In response to a third party query re deliveries, Transportation advise that deliveries can be accommodated on Cathedral Road (outside peak times, as denoted by the signs), on Talbot Rd and via the rear lane (although larger delivery vehicles may not practically be able to access this), noting that there is already delivery vehicle use/allowance at the site via the existing commercial use, and that there is an extant permission for some residential units at the site.

8.25 The OM Transportation has raised no objection to the scheme on highway safety grounds or on local highway capacity, subject to conditions to secure footway improvements (to Cathedral Road, Talbot St and to a section of the service lane to address site access, footway repairs, resurfacing of the service lane, edging, lighting and signing) and to control car and cycle parking and how the vehicle entry gate into the rear car park would operate, which the developer has agreed to.

8.26 Waste Management have confirmed that the refuse details, as amended, are acceptable and that they have no objection, noting that the Council would collect the communal bins for the apartments and return them, that the townhouses would present their own bins on Talbot St and that the office would arrange a commercial collection. It is noted that the path from the bin store to Talbot St meets the 1.5m wide standard and that a drop kerb to Talbot St would be secured by condition. A condition is also recommended to retain refuse storage for future use.

(v) Impact on the natural environment and climate change

8.27 Policies KP15, KP16, EN7 and EN8 seek to ensure that green infrastructure is protected and that the effects of climate change associated with such loss are mitigated.

8.28 *Impact on existing trees*- The impact of the development on trees has been a significant concern to officers since pre-application stage, and has been the subject of detailed advice, subsequent revisions and multiple objections from the tree officer and third parties, with particular concerns raised over the loss of trees, failure to show adequate mitigation or enhancement tree planting, conflict between trees and drainage/services, inadequate planting and soil specification insufficient to demonstrate that what is shown on plan is deliverable and inconsistent plans. However, the landscape submission has now been designed in conjunction with SuDS/ SAB specialists, with the previous conflicts between the built development, trees and SuDSS addressed and, further to the latest submissions, the Tree Officer has no objection, subject to the recommended conditions. As noted above, the application would involve the loss of 4 no category 'C' individual Conservation Area trees T4, T8, T9, T1 and one category 'C' group of Conservation Area trees G7, the retention of the large TPO and B category purple beech T11 at the rear of the site, the retention of the 'B' category lime tree T3 and 'C' category trees T2, T5, T6 on

the Cathedral Rd frontage and the planting of x7 new trees (including x1 very large tree (*Quercus palustris*), x2 large trees (*Acer x freemanii* 'Armstrong'), X2 medium trees (*Ligustrum japonicum*) and x2 small trees in planters (*Cornus controversa* 'Variegata') and has now demonstrated the absence of harm to the street lime tree T1 outside the site. The retention of the two holly trees (T2 and T6), the lime (T3) and the cherry (T5) would maintain the tree canopy that is characteristic of the Conservation Area and this will be further enhanced by the 2 large acers, with understorey planting, proposed in front of the historic villas along the Cathedral Rd frontage. The Tree Officer has concluded that the 7 new trees represent an enhancement to the Conservation Area, which more than offsets the loss of existing low quality trees and the tree and landscaping proposals are welcomed.

8.29 Third party objections have been raised in respect of the impact of tree losses on climate change, with a view held that mature trees must be preserved and that loss of mature green infrastructure cannot be mitigated by replacement planting on grounds that such planting will not mature within a timeframe that would offset the effects of climate change. This position is not accepted and the Tree Officer has advised that the proposed new tree planting would improve species diversity and age class structure, both of which are important elements in achieving a sustainable tree population and mitigating the predicted impacts of climate change. They advise that *Quercus* and *Acer* in particular are species that are tolerant of extremes of soil moisture and dryness, conditions that may become more frequent with climate change, and that the *Ligustrum* is a broad leaved evergreen which consequently offers year round visual amenity benefits and interception/storage of pollutants. They advise that a literal interpretation of the objections raised on grounds of climate change would mean that not a single tree on any development site anywhere in Cardiff or Wales generally could be removed and that this lead to an imbalanced age class structure (ageing tree population), lack of species diversity including species well-adapted to deal with the predicted impacts of climate change, potential hazards and potentially catastrophic pest and disease outbreaks.

8.30 *Protected Species* - The consideration of any impact on protected species is essentially related to the potential for bats and harm to nesting birds and in this regard a survey for bats and nesting birds has been undertaken and an updated report (dated Feb 2020) of findings and recommendations submitted. The comments of and absence of objection from NRW and the County Ecologist are noted, and officers are content that such mitigating measures as will be necessary to ensure for the favourable conservation status of protected species can be appropriately controlled by means of of a statutory license and by the recommended planning conditions, which include both mitigation and enhancement measures.

(vi) *Impact on air quality, noise and contaminated land*

8.31 SRS have raised no objection with regard to contaminated land, subject to conditions, all of which are duly recommended. Similarly, no objection has been received in respect of air, light or noise pollution, subject to conditions to require a supporting air quality assessment (construction and operational phases), to control road traffic and live music noise for future occupiers, and to control

construction site noise, dust, piling and vibration via a Construction Environmental Management Plan. SRS also recommend an advisory notice setting out hours for noisy construction works and advising that the applicant should seek approval for any proposed piling operations. These conditions and advisory notice are duly recommended, with the exception that the recommended CEMP condition is proposed to extend to the control of dust and dirt only, in line with the model condition wording set out in Welsh Government Circular WGC 016/2014 and noting that there are other legislative regimes to control noise, piling and vibration, that the principle of non-duplication set out in Planning Policy Wales should be maintained, that the impact of piling and vibration on property damage is not a planning matter and that the advisory notice recommended by SRS extends to construction noise and piling operations.

(vii) Water Resources, Drainage and Flood Risk

- 8.32 Policies EN10 and EN14 require water sensitive design solutions that do not increase the risk of flooding elsewhere to be incorporated within new development. It is proposed to dispose of surface water by means of a sustainable drainage system which would ultimately connect to the public sewer. Proposed sustainable drainage features include the use of permeable paving to the lower level carpark, rain gardens to the front of the three town houses and retained villas, a green roof and an underground attenuation storage crate. SAB approval, that is consistent with the drawings submitted under planning, was granted 30/09/20 for the site, demonstrating that the site can be viably drained and meet the statutory SuDS standards. From a planning perspective, Drainage colleagues have advised that the drainage is a good design and have no objection. This is a welcome ending to a lengthy process involving objections from drainage colleagues and multiple amendments. It is proposed to convey foul discharge to the DCWW combined sewerage network and DCWW have no objection to either the surface water or foul drainage proposals, subject to the recommended condition.
- 8.33 From a flood perspective, it is noted that the site falls entirely within Zone C1 as defined by the DAM referred to under TAN 15. All residential premises are classed as 'highly vulnerable development' in the TAN 15 precautionary framework identifying the vulnerability of different land uses to flooding and zone C is defined as a 'high risk area'. TAN 15 states that development should only be permitted within Zone C1 if determined by the planning authority to be justified in that location. A flood risk assessment has been submitted to assess and mitigate the risks from flooding.
- 8.34 The Welsh Government 'Summary of what TAN 15 requires for highly vulnerable development (houses) to be considered acceptable' sets out the following justification criteria:
- 1) *Should be located only in an area of flood risk which is developed and served by significant infrastructure, including flood defences (Zone C1 of the DAM) **AND***
 - 2) *Its location is necessary to assist a local authority regeneration initiative or strategy, or contribute to key employment objectives, necessary to sustain an existing settlement or region **AND***

- 3) *The site meets the definition of previously developed land (i.e. is not a Greenfield site) and concurs with the aims of Planning Policy Wales (ie. the presumption in favour of sustainable development) **AND***
- 4) *A Flood Consequences Assessment has been produced to demonstrate that the potential consequences of a flood event up to the extreme flood event (1 in 1000 chance of occurring in any year) have been considered and meet the criteria below in order to be considered acceptable'.*

8.35 Assessed against these criteria:

- 1) the area is developed and served by significant infrastructure, with the FCA (section 7) noting that the area benefits from flood alleviation measures in the form of reinforced earth embankments to the Taff and the Cardiff Bay barrage
- 2) the site is necessary to assist a LA regeneration strategy, in that the site constitutes a windfall site within the LDP settlement boundary and forms part of the strategy for achieving the level of growth during the plan period proposed under KP1 of the LPD
- 3) The site is a brownfield site / previously developed land.
- 4) A FCA supports the application.

8.36 A flood risk assessment has been submitted that demonstrates that flooding can be acceptably managed. NRW note that they have no concerns provided finished floor levels are set at or above 7.9m AOD and a condition is recommended to ensure that this and the other recommendations of the FCA are implemented. It is noted that part of the flood strategy is to protect the lower car park area from flooding by a retaining wall and raised access. In response to NRW's advice that it is for the Authority to satisfy itself that the wall and raised access would be appropriately designed and maintained, the Council's drainage engineer has confirmed that this would be the case and a condition is recommended to ensure that the wall and raised access are retained and maintained for the lifetime of the development. The FCA sets out further mitigation measures to manage flood events, and a further condition is recommended to ensure that future occupiers are made aware of the flooding risks and consequences, and that flood emergency plans and procedures are put in place for future occupiers, in line with the TAN 15 criteria.

(viii) Response to third party and other objections and representations

8.37 The objections raised by third parties and other objectors have been carefully considered. The following comments are provided in respect of matters raised that have not been addressed in the above analysis:

- The 21 day consultation period accords with national guidance and deadlines are put in place to allow LPAs to determine applications as expediently as possible in accord with national guidance. That said, responses can still be considered before a recommendation is made, even after the initial consultation deadline where a report has not been completed.
- The PAC report notes that Cllrs Wild, Gordon and Singh were consulted by a letter sent by email on 3rd June 2019.
- Guidance on rights to speak at Planning Committee is available on the Council's website.

- The Cathedral Rd Conservation Area Group no longer convene.
- The responsibility for the safe development of the site rests with the developer. Damage to properties from traffic and construction is not a planning matter.
- Impact on house prices is not a planning matter.
- The application would not trigger the need for planning obligations in respect of health and schools, in line with the Planning Obligations SPG.
- There is no LDP policy requirement to undertake a Welsh language impact assessment. Pls see the advice for developers in 'Recommendation 10' to contribute to the use of the Welsh language and the Thriving Welsh Language well-being goal.
- There is no requirement to undertake an asbestos assessment or health impact assessment as part of a planning application.
- It is considered that a condition to prevent the use of any dwelling as an Air B&B property would fail the tests for the use of conditions
- The Tall Buildings SPG does not apply as the development is not double the height of surrounding properties or significantly taller in terms of actual height and number of floors.
- Regarding the unauthorised works to the garage/outbuilding, enforcement have been advised of the unauthorised uPVC doors currently in place. Given the application includes details for bi-fold doors to address the matter, it would not be expedient to take any enforcement action until such time as the application has been determined. The bi-fold doors are considered to be acceptable, as noted above, subject to the recommended condition.
- Heritage Impact Assessments are not required when applying for planning permission, including for development in a conservation area and within the setting of a listed building, scheduled monument or registered historic park and garden.

(ix) Other Legal Considerations

- 8.38 Crime and Disorder Act 1998 - Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision and it is noted that SWP have raised no objection, subject to recommendations. Whilst many are building control matters, the proposed scheme and recommended conditions would address those relating to the provision of secure cycle and bin storage and means of enclosure.
- 8.39 Equality Act 2010 - The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect

on, persons who share a protected characteristic. Amended plans have been submitted to provide platform lift to ensure that the basement car park is accessible to all and that both level and stepped access is now available to the rear gardens of the three town houses.

- 8.40 Well-Being of Future Generations Act 2016 - Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision, taking into consideration the above analysis. There is significant overlap between the well-being goals the Act puts in place and national and local planning policy, given the central role of planning in delivering sustainable development. The key issues that have formed material considerations in the determination process are pertinent to the stated well-being goals of the Act.
- 8.41 The Environment (Wales) Act 2016 - The Environment (Wales) Act 2016 enshrines in law principles and policies for managing natural resources in a sustainable way. Amongst other things, it introduces a new biodiversity duty on public authorities to seek to maintain and enhance biodiversity when exercising their functions, and in so doing to promote the resilience of ecosystems, so far as consistent with the proper exercise of those functions. This duty and the resilience of ecosystems have been considered and discharged in the evaluation of this application and in the recommended conditions.
- 8.42 Flood and Water Management Act 2010 – Section 12 (3) of the Flood and Water Management Act 2010 places a duty on risk management authorities (e.g. a county council for the area) to have regard to the national and local strategies and guidance when exercising any other function in a manner which may affect a flood risk or coastal erosion risk. The relevant strategies and guidance have been taken into consideration in the determination of this application.
- 8.43 Environmental Impact Assessment – The works are not a Schedule 2 development for the purposes of assessment under the EIA regulations and are not considered to have any significant environmental effects warranting the submission of an Environmental Statement.

9. **S106 Requirements and Viability**

- 9.1 National Policy and CIL regulations outline the legal requirements for a valid Planning Obligation. Policy KP7 is also relevant and the Council's position reflects careful consideration of the national and local planning policy framework, together with relevant guidance contained within the Council's Supplementary Planning Guidance (SPG).
- 9.2 The total planning obligations requested amount to **£648,660**, broken down as follows and calculated in accordance with Council policy and guidance:

- **£535,920** towards off-site affordable housing
- **£35,582** towards off-site community facilities
- **£65,158** off-site towards Public Open Space
- **£12,000** for parking restrictions to be introduced on the bellmouths of the northern / southern extents of the lane, and on Talbot / Hamilton Streets to ensure safe access can be maintained without parked cars causing concerns (to include costs of the TRO process).

In addition, the Applicant has been asked to undertake a scheme of environmental / footway improvements to Cathedral Rd, Talbot Street and the rear lane, to be secured by condition, which they have agreed to.

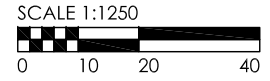
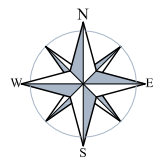
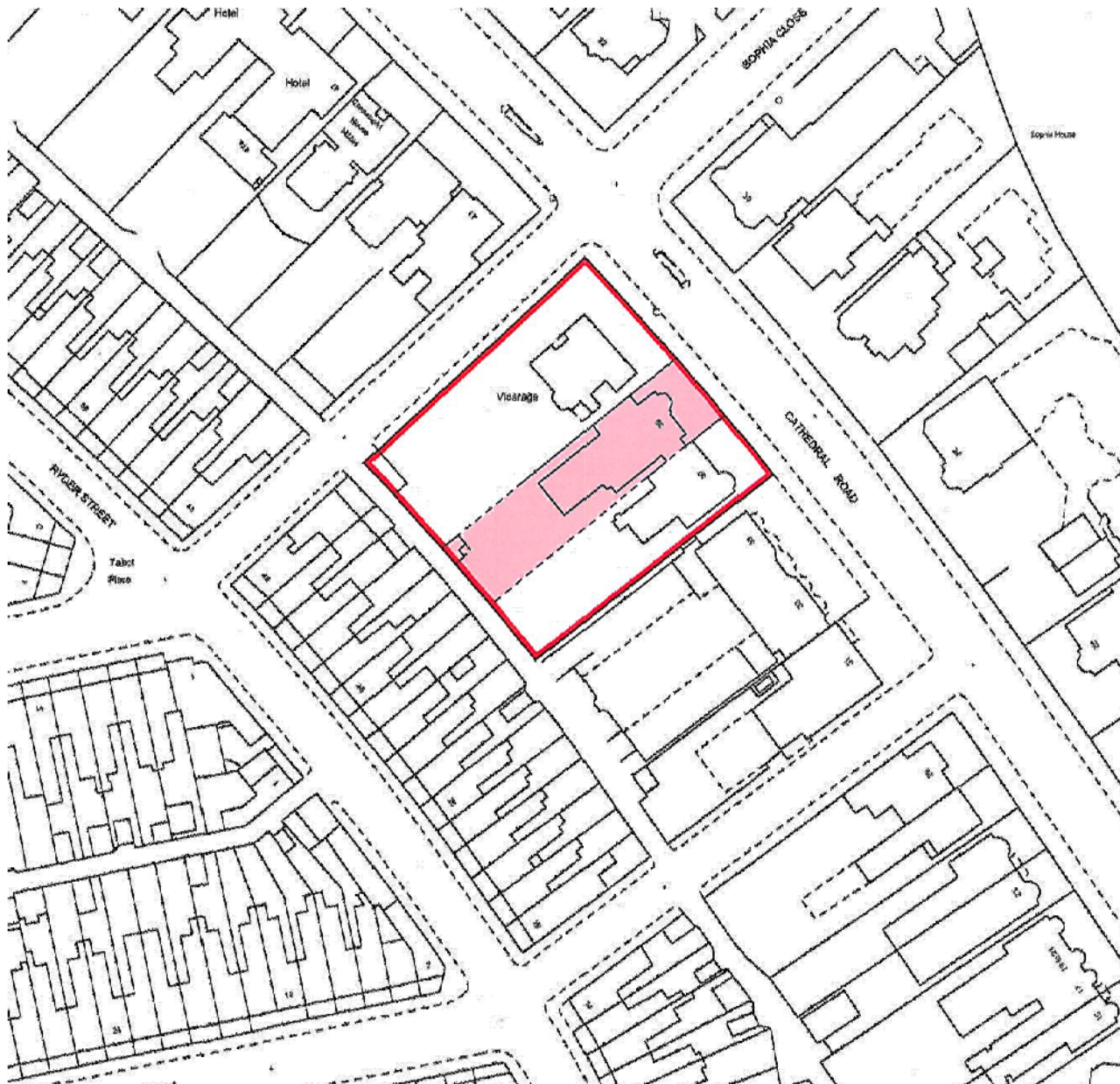
- 9.3 To assist the consideration of planning obligations, the Applicant provided a Viability Statement (December 2019) prepared by Savills which concluded that the scheme has reduced significantly in density from the 51 units to 36 units, which has impacted negatively on scheme viability and that the imposition of the Section 106 contributions would make the scheme unviable and undeliverable. In accordance with the established practice of obtaining an independent assessment of viability appraisals presented in support of planning applications, the Council commissioned the District Valuer (DV) to prepare an assessment of the viability appraisal. The DV's report, dated 27/04/20, confirmed that the scheme would not achieve a competitive return expected for a development of this nature if a planning obligation payment was required and suggest that, if the authority is minded to grant permission on the basis of no contributions that a timescale for delivery is agreed which, if not met, triggers a viability review.
- 9.4 Notwithstanding the viability exercise carried out by the Applicant and verified by the District Valuer, the developer has agreed to provide a planning obligation of **£12,000** (to include the costs of the TRO process) towards appropriate parking restrictions to be introduced on the bellmouths of the northern / southern extents of the rear access lane, and on Talbot / Hamilton Streets, to ensure safe access can be maintained without parked cars causing concerns.
- 9.5 Further to the advice of the DV, the planning obligation should also require a further viability assessment to be undertaken in the event that the construction of the ground floors of Blocks A and B and the townhouses has not substantially commenced within 24 months of the issue of the planning permission to allow the financial contributions to be reassessed.
- 9.6 It is considered that the above planning obligation Heads of Terms fully satisfy the requirements of Circular 13/97 Planning Obligations and the statutory tests set out in Regulation 122 of the Community Infrastructure Levy Regulations, and this offer is recommended to members of Planning Committee.

10. **CONCLUSION**

- 10.1 Based on the above and having considered all representations and material matters raised, it is considered that there are no demonstrable or compelling reasons which indicate sufficient harm to warrant refusal of the application, with

all material factors, policy implications and issues raised through consultation satisfactorily addressed.

- 10.2 In considering the application, officers have sought numerous amendments to reduce the scale and massing of the development, to introduce materials and enhancements to the built form in recognition of the sensitivity of the surroundings and to satisfactorily resolve technical issues in respect of trees, flood-risk and SuDS. The impact on heritage matters has been assessed in detail within the report, with the consideration being that, despite some concerns with respect to block B, the scheme would meet the test of preserving the character or appearance of the Conservation Area overall, that there would be a number of enhancements to the Conservation Area and that the scheme would preserve the setting of Grade II listed and locally listed buildings, scheduled monuments and registered historic parks and gardens.
- 10.3 The proposal would also bring wider benefits, in terms of bringing a vacant site, that has been derelict for over 3 years, into beneficial use with associated regeneration benefits, would promote the efficient use of land, make a positive contribution to the local housing land supply, achieve a resource efficient and climate responsive design, in the proposed retention of trees and planting of new trees, and the extent of soft landscaping and SuDS proposals and provision of EV charging. The delivery of environmental and footway improvements to Cathedral Rd, Talbot St and the rear lane are also welcomed and would be secured by condition.
- 10.4 It is recommended that planning permission be granted, subject to the recommended conditions and relevant parties entering into a planning obligation.



rev	note	date

PLANNING

Greyfriars House, Greyfriars Road, Cardiff CF10 3AL
T: 029 2022 6757



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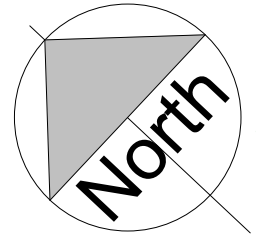
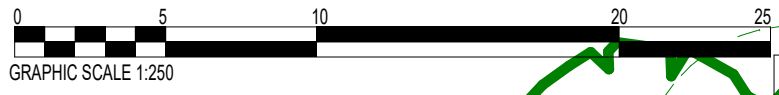
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Cathedral Gardens Ltd

**37-39 Cathedral Rd
CARDIFF**

title
Site Location Plan

job no.	dig no.	rev	
267	SL00	-	
scale	date	drawn by	checked by
1:1250 @ A4	Dec '18	-	-



- LEGEND:**
- - - Site Application Boundary
 - Existing trees to be retained
 - - - Existing trees RPA
 - Existing trees to be removed
 - New trees.
 - ▨ New shrubs planting.
 - ▨ Denotes areas of turfed grass.
 - ▨ Denotes areas of precast concrete paving slabs.
 - ▨ Denotes areas of groundcover.
 - ▨ Denotes area of hardwood bark chippings.
 - Denotes 1.8m treated timber close boarded fence and gate
 - ▨ Rain garden as per structural engineer's drawing
 - ▨ Permeable block paving system to lower car parking.
 - ▨ Standard block paving.

NOTE: All soft landscaping shown indicatively, refer to landscape architect's dwg no TDA.2518.01 for detail and specification.

Rev	note	Date
I	Revised to suit planner's comments.	02/09/20
H	Revised following design progression and planner's comments.	13/07/20
G	Trees & external works to front of Block A revised	20/05/20
F	Soft landscaping revised to suit landscape architect's dwg.	19/03/20
E	Rain gardens added as per SE's dwg.	16/03/20
D	Cycle wall docks added to Block C, dims added, rear of townhouses revised.	16/03/20
C	Revised following design progression/ planner's comments.	20/01/20
B	Office bin store updated.	27/11/19
A	Updated following planners' comments	14/11/19

PLANNING

Greyfriars House, Greyfriars Road, Cardiff CF10 3AL
T: 029 2022 6757

JWA
JOHN WOTTON ARCHITECTS

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Cathedral Gardens Ltd.

**37-39 Cathedral Rd
CARDIFF**

title
Proposed Site Plan

job no.	drg no.	rev
267	SL102	I

scale (@A3) date drawn by checked by
1 : 250 July '20 AC JW



KEY:

- 2B4P PENTHOUSES
- 2B4P APARTMENTS
- 2B3P APARTMENTS
- 1B2P APARTMENTS

Area Schedule (GIA) 0F

Name	Area	Type
A01	110 m ²	2B4P
A02	63 m ²	2B3P
B01	68 m ²	2B3P
B02	48 m ²	1B2P
B03	48 m ²	1B2P
C01	99 m ²	2B4P
C02	55 m ²	1B2P
C03	51 m ²	1B2P
TH01	82 m ²	4B8P*
TH02	82 m ²	4B8P*
TH03	82 m ²	4B8P*

E	Revised to suit planner's comments.	02/09/20
D	Revised following design progression and planner's comments.	13/07/20
C	Revised following design progression/ planner's comments.	20/01/20
B	Office bin store updated.	27/11/19
A	Updated following planners' comments	14/11/19
Rev	note	Date

PLANNING

Greyfriars House, Greyfriars Road, Cardiff CF10 3AL
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Cathedral Gardens Ltd.

37-39 Cathedral Rd
CARDIFF

title
Proposed GF Plan

job no.	drg no.	rev	
267	PP101	E	
scale (@A3)	date	drawn by	checked by
1 : 200	July '20	AC	JW



- 33-39 Cathedral Rd
- Previously approved scheme
- Previous proposal by JWA

D	Block A dormer over liftshaft added.	20/08/20
C	Updated following design progression	04/03/20
B	Revised following design progression/ planner's comments.	20/01/20
A	Updated following planners' comments	14/11/19
Rev	note	Date

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PLANNING

Cathedral Gardens Ltd.

37-39 Cathedral Rd
CARDIFF

title
Proposed Talbot Street Elevation

job no.	drg no.	rev
267	PE104	D
scale (@A3)	date	drawn by
1 : 150	Feb '20	AC
		checked by
		JW



●●●●●●●● Previously approved scheme

●●●●●●●● Previous proposal by JWA

D	Front boundary revised to suit latest site plan.	02/09/20
C	Front boundary revised to suit latest site plan.	20/08/20
B	Updated following design progression	04/03/20
A	Revised following design progression/ planner's comments.	20/01/20
Rev	note	Date

Greyfriars House, Greyfriars Road, Cardiff CF10 3AL
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PLANNING

Cathedral Gardens Ltd.

**37-39 Cathedral Rd
CARDIFF**

title
**Proposed Cathedral Road
Street Elevation**

job no.	drg no.	rev
267	PE105	D
scale (@A3)	date	drawn by checked by
1 : 150	Feb '20	AC JW



●●●●●●●● Previously approved scheme

●●●●●●●● Previous proposal by JWA

D	Revised to suit planner's comments.	02/09/20
C	Revised following design progression and planner's comments.	13/07/20
B	Revised following design progression/ planner's comments.	20/01/20
A	Updated following planners' comments	14/11/19
Rev	note	Date


 Greysfriars House, Greysfriars Road, Cardiff CF10 3AL
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 E: studio@johnwottonarchitects.com
 W: www.johnwottonarchitects.com

PLANNING

Cathedral Gardens Ltd.

37-39 Cathedral Rd
CARDIFF

title		
Proposed Rear Lane Elevation		
job no.	drg no.	rev
267	PE106	D
scale (@A3)	date	drawn by checked by
1 : 150	July '20	AC



——— 33 Cathedral Rd
 Previous proposal by JWA

D	Revised to suit planner's comments.	02/09/20
C	Revised following design progression and planner's comments.	13/07/20
B	Revised following design progression/ planner's comments.	20/01/20
A	Updated following planners' comments	14/11/19
Rev	note	Date

Greyfriars House, Greyfriars Road, Cardiff CF10 3AL
 T: 029 2022 6757
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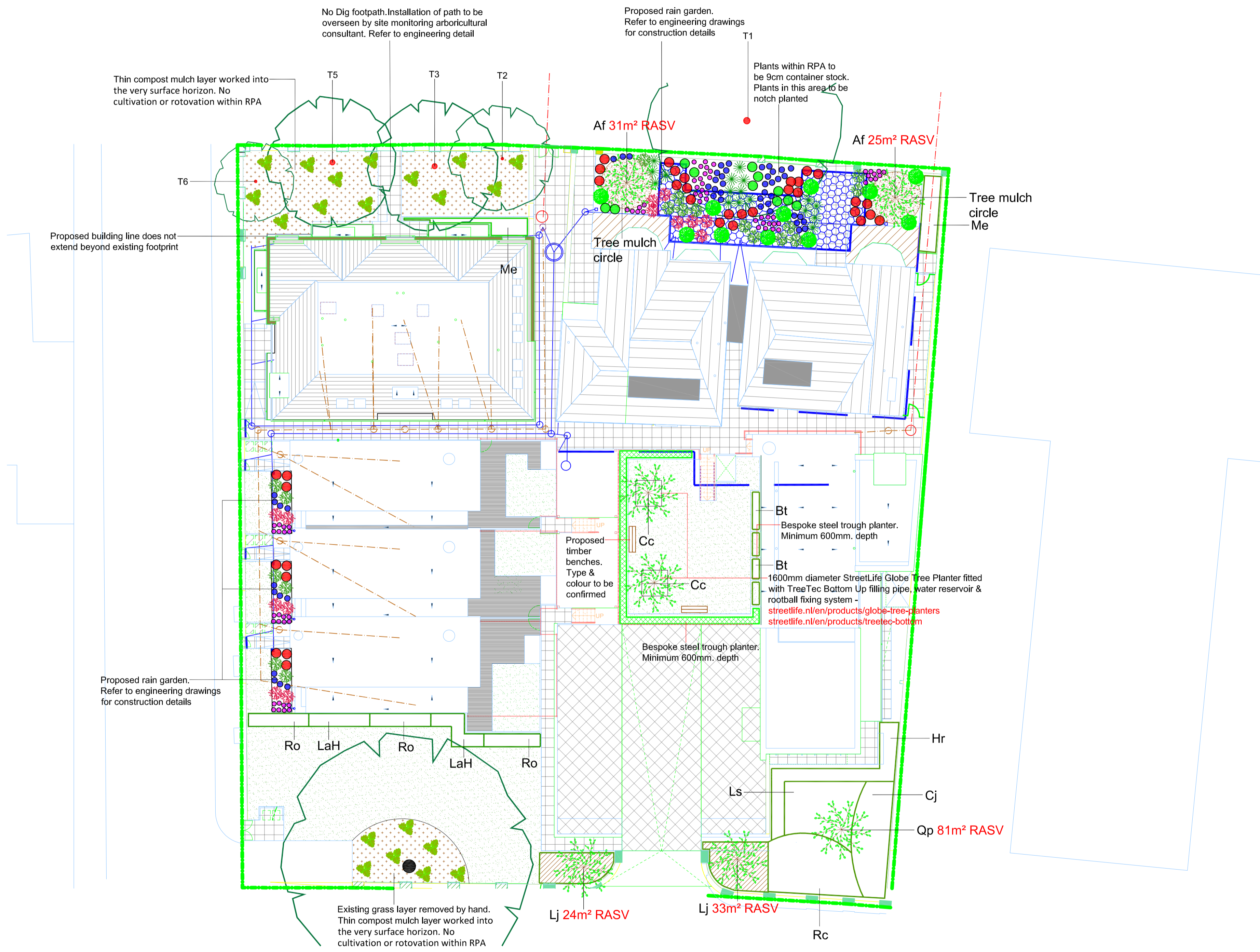
PLANNING

Cathedral Gardens Ltd.

37-39 Cathedral Rd
 CARDIFF

title
 Site Section

job no.	drg no.	rev
267	PS107	D
scale (@A3)	date	drawn by checked by
1 : 150	July '20	AC



SOFT LANDSCAPE KEY:

- EXISTING TREES TO BE RETAINED
 - PROPOSED ORNAMENTAL TREE PLANTING (Refer to schedule for species)
 - PROPOSED SHRUB PLANTING (Refer to schedule for species/densities)
 - PROPOSED FERN PLANTING (Refer to schedule for species/densities)
 - PROPOSED GRASS TURF (Areas to be turfed with Rotawn Medallion)
 - PROPOSED ORNAMENTAL HEDGEROW (Areas to be turfed with Rotawn Medallion)
 - PROPOSED GROUNDCOVER (Refer to schedule for species/densities)
 - PROPOSED HARDWOOD BARK CHIPPINGS
- RAIN GARDEN PLANTING (density as shown)**
- Dryopteris filix-mas (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)
 - Helleborus foetidus (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)
 - Calamagrostis brachytricha (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)
 - Skimmia japonica 'Fragrans' (male) (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)
 - Juncus effusus (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)
 - Carex pseudocyperus (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)
 - Leucothoe Scarletta 'Zeblid' (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)
 - Lychnis flos-cuculi (30-40 Con 2-3L (CON 9cm within RPA of retained Lime)

PLANT SCHEDULE

ORNAMENTAL TREE PLANTING

ABBREV	SPECIES	DENSITY	HEIGHT/GIRTH	ROOT CONDPOT SIZE	TOTAL
Af	Acer x freemanii 'Armstrong'	AS SHOWN	12-14 (g)	RB	--
Cc	Cornus controversa 'Variegata'	AS SHOWN	16-18 (g)	RB	--
Lj	Ligustrum japonicum	AS SHOWN	12-14 (g)	RB	--
Qp	Quercus palustris	AS SHOWN	16-18 (g)	RB	--

SHRUB PLANTING

ABBREV	SPECIES	DENSITY	HEIGHT/GIRTH	ROOT CONDPOT SIZE	TOTAL
Bt	Berberis thunbergii 'Orange Rocket'	4 sqm	30-40 (h)	CON	--
Cj	Camellia japonica 'Desire'	2 sqm	30-40 (h)	CON	--
Hr	Hebe rakaiensis	5 sqm	30-40 (h)	CON	--
Ls	Leucothoe Scarletta ('Zeblid')	5 sqm	30-40 (h)	CON	--
LaH	Lavandula angustifolia 'Hidotee'	5 sqm	30-40 (h)	CON	--
Me	Mahonia eu. ganpi. 'Soft Caress'	4 sqm	30-40 (h)	CON	--
Rc	Rhododendron 'Cunning, White'	4 sqm	30-40 (h)	CON	--
Ro	Rosmarinus officinalis	4 sqm	30-40 (h)	CON	--
Sh	Sarcococca hookeriana digyna	4 sqm	30-40 (h)	CON	--
Si	Skimmia japonica Rubella	4 sqm	30-40 (h)	CON	--

FERN PLANTING

ABBREV	SPECIES	DENSITY	HEIGHT/GIRTH	ROOT CONDPOT SIZE	TOTAL
AS KEY	Polystichum setiferum	AS SHOWN	--	CON	9cm

HEDGEROW PLANTING

ABBREV	SPECIES	DENSITY	HEIGHT/GIRTH	ROOT CONDPOT SIZE	TOTAL
AS KEY	Buxus sempervirens	5 per lin/m	40-60 (h)	CON	--

GROUNDCOVER

ABBREV	SPECIES	DENSITY	HEIGHT/GIRTH	ROOT CONDPOT SIZE	TOTAL
AS KEY	Pachysandra terminalis	5 sqm	30-40 (h)	CON	--

Cornus controversa 'Variegata' to be planted & anchored in accordance with TreeTec manufacturers instructions
Acer x freemanii 'Armstrong' to be planted in accordance with TDA.2518.02
Ligustrum japonicum & *Quercus palustris* to be planted in accordance with TDA.2518.03

NOTES:
 Existing retained trees to be protected in accordance with BS5837:2012. Protection measures to be implemented prior to any construction operations on site
 Drawing was produced in colour at a scale of 1:200 @ A1. Do not rely on monochrome or scaled copies

I	Footpath amended	AMP	03.09.20
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TDA
 THE GRANARY
 NEWLAND FAWR FARM
 LLANGAN
 CF35 5DN
 TEL: 01446 789367

Environment • Landscape • Design

CLIENT
CATHEDRAL GARDENS LTD

DRAWING NUMBER TDA.2518.01	SCALE 1:200 @ A1
DRAWN RHC/AMP	DATE NOVEMBER 2019

PROJECT
CATHEDRAL GARDENS

DRAWING TITLE
DETAILED SOFT LANDSCAPE PROPOSALS

LOCAL MEMBER OBJECTION & PETITION

COMMITTEE DATE: 14/10/2020

APPLICATION No. **20/01255/MJR** APPLICATION DATE: 14/07/2020ED: **PENYLAN**

APP: TYPE: Full Planning Permission

APPLICANT: Wales and West Housing Association and Jehu Group
 LOCATION: FORMER COLCHESTER MOTOR COMPANY AND THE
 THREE BREWERS, COLCHESTER AVENUE, PENYLAN,
 CARDIFF

PROPOSAL: DEVELOPMENT OF 50NO. APARTMENTS AND 1NO. RETAIL
 UNIT (USE CLASS A1), AND ASSOCIATED WORKS,
 INCLUDING SUSTAINABLE DRAINAGE, LANDSCAPING,
 AMENITY SPACE AND OTHER WORKS

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans and documents:

Drawing Title	Drawing Reference
Site Location Plan	3830-0001-P2
Proposed Site Plan	3830-0003-P18
Proposed Site Plan - Colour	3830-0004-P12
Ground Floor	3830-1000-P10
First Floor	3830-1001-P8
Second Floor	3830-1002-P8
Third Floor	3830-1003-P8
Fourth Floor	3830-1004-P8
Elevations A & B	3830-2000-P7
Elevations C & D	3830-2001-P4
Elevations E & F	3830-2002-P4
Schedule of Accommodation	3830-5000-P5
Artists Impression	3830-6000-P2
Detailed Soft Landscape Plan, page 1 of 2	edp6202_d001h (05/10/2020)
Detailed Soft Landscape Plan, page 2 of 2	edp6202_d001h (05/10/2020)

Arboricultural Report including: Arboricultural Method Statement and Tree Protection Plan (dated: 23/09/2020, prepared by ArbTS)
 Wildwood Ecology Letter, dated: 16/07/2020

Reason: For the avoidance of doubt.

3. *Material Samples:*
Notwithstanding condition 2, prior to their application on site, samples of the external finishing materials shall be submitted to and approved by the Local Planning Authority. The development shall be carried out in accordance with the approved details prior to occupation.
Reason: To ensure a satisfactory finished appearance to the development, in accordance with Policy KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).
4. *Architectural Detailing:*
Prior to commencement of any elevation construction work, a scheme showing the architectural detailing of the depths of the reveals of the building shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be brought into beneficial use until the approved scheme is implemented.
Reason: To ensure a satisfactory finished appearance to the development, in accordance with Policy KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).
5. *Cycle Parking:*
Prior to the occupation of the development hereby permitted, details showing the provision of cycle parking spaces, and appropriate access to them, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.
Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles, Policy T5 of the adopted City of Cardiff Local Development Plan (2006-2026).
6. *Car Parking Management:*
Prior to the occupation of the development hereby permitted, a Car Parking Strategy and Management Plan shall be submitted to and approved in writing by the Local Planning Authority, to include details of residential car parking allocation, the addition of disabled parking, and further details on the potential relocation of the Lady Margaret Court parking.
Reason: To ensure the proposed car parking does not result in operational concerns, in accordance with Policy T5 of the adopted City of Cardiff Local Development Plan (2006-2026).
7. *Access Junction:*
No above groundworks shall take place until details of the proposed accesses shall be submitted to and approved in writing by the Local Planning Authority, to include details of footways and dropped kerbs. Those details shall be implemented prior to beneficial occupation.
Reason: To ensure that the use of the proposed development does not

interfere with the safety of traffic or pedestrian accessibility, in accordance with Policy T6 of the adopted City of Cardiff Local Development Plan (2006-2026).

8. *Redundant Crossover:*

The existing vehicle access at the north-western end of the site's frontage with Colchester Avenue shall not be used and shall be permanently closed, and full height kerb re-instated, before the development is brought into beneficial use.

Reason: To ensure that the use of the proposed development does not result in any safety concerns, in accordance with Policy T6 of the adopted City of Cardiff Local Development Plan (2006-2026).

9. *Topsoil and Subsoil Specification:*

No above groundworks shall take place until details of a topsoil and subsoil specification for all planting types has been submitted to and approved in writing by the Local Planning Authority. The details shall include the planting soils, filter mediums and drainage layers including profile depths, composition, chemistry, storage and handling, remediation, amelioration and placement. The specification shall be drawn up by a soil scientist familiar with the planting plans and specifications.

Reason : To maintain and improve the appearance of the area in the interests of visual amenity, in accordance with in accordance with Policy KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).

10. *Landscaping Implementation:*

All planting, seeding, turf-laying and paving shown on approved plan drawing no. edp6202_d001h (05/10/2020) shall be carried out in the first planting and seeding season following the occupation of the building or the completion of the development, whichever is the sooner.

Any trees, plants, or hedgerows which within a period of five years from the completion of the development die, are removed, become seriously damaged or diseased, or become (in the opinion of the Local Planning Authority) otherwise defective, shall be replaced in the current planting season or the first two months of the next planting season, whichever is the sooner, unless the Local Planning Authority gives written consent to any variation.

Reason: To maintain and improve the appearance of the area in the interests of visual amenity, in accordance with Policies KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).

11. *Ground Gas Protection:*

Prior to the commencement of any development works, other than demolition, the proposed details of appropriate gas protection measures to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site shall be submitted to and approved in writing to the Local Planning Authority.

All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required.

'Gases' include landfill gases, vapours from contaminated land sites, and naturally occurring methane and carbon dioxide, but does not include radon gas. Gas Monitoring programmes should be designed in line with current best practice as detailed in CIRIA 665 and BS 8485:2015+A1:2019 Code of practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026)

12. *Contaminated Land Measures (Remediation & Verification Plan):*

Prior to the commencement of the development, other than demolition, a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document 'Land Contamination: A guide for Developers' (2017), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

13. *Contaminated Land Measures (Remediation & Verification):*

The remediation scheme approved by condition 14 must be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two

weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017), unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

14. *Contaminated Land Measures (Unforeseen Contamination):*

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

15. *Imported Soil:*

Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation.

Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

16. *Imported Aggregates:*

Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

17. *Use of Site Won Materials:*

Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

18. *Sound Insulation Scheme:*

A scheme of sound insulation works to the party wall structure between the lift/risers plant machinery and associated functions and the residential units and for the floor/ceiling between the A1 commercial unit and residential units shall be submitted to and agreed by the Local Planning Authority in writing and the approved details shall be implemented prior to occupation.

Reason: To ensure that the amenities of occupiers of other premises in

the vicinity are protected, in accordance with Policy KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).

19. *Plant Noise:* Prior to the operational use of any plant machinery and equipment approved on drawing no's. 3830-0003-P18 and 3830-0004-P12, a noise assessment shall be carried out and submitted to the Local Planning Authority to ensure the noise emitted from the plant machinery and equipment on the site achieves a rating noise level of background - 5dB at the nearest noise sensitive premises when measured and corrected in accordance with BS 4142: 2014 (or any British Standard amending or superseding that standard).
Reason: To ensure that the amenities of occupiers in the vicinity are protected, in accordance with Policy KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).
20. *Opening Hours (Commercial Unit):*
No member of the public shall be admitted to or allowed to remain on the premises between the hours of 23:00 hours and 06:00 hours on any day.
Reason: To ensure that the amenities of future occupiers of other premises in the vicinity are protected, in accordance with Policy KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).
21. *Servicing Hours (Commercial Unit):*
There shall be no arrival, departure, loading or unloading of delivery or waste vehicles between the hours of 20:00 and 08:00 on any day.
Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected, in accordance with Policy KP5 of the adopted City of Cardiff Local Development Plan (2006-2026).
22. *Bat and Bird Boxes:*
Prior to the occupation of the development, bat and bird boxes, as outlined in the submitted 'Wildwood Ecology Letter, dated: 16/07/2020', shall be installed in the locations shown on the plan contained therein.
Reason: To enhance the green infrastructure on site and ensure the protection of bats and birds, in accordance with Policy KP16 of the adopted City of Cardiff Local Development Plan (2006-2026).
23. *Construction Environmental Management Plan:*
No development shall commence, other than demolition, until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The approved CEMP shall be adhered to throughout the construction period and should include details of:
 - (i) The parking of vehicles of site operatives and visitors;
 - (ii) Loading and unloading of plant and materials;
 - (iii) Storage of plant and materials used on constructing the development;
 - (iv) The erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;

- (v) Details of highways/footway closures;
- (vi) Wheel washing facilities;
- (vii) A dust assessment with measures to monitor and control the emission of dust and dirt during demolition and construction;
- (viii) A scheme for the recycling/disposing of waste resulting from demolition and construction works.

Reason: In the interests of highway safety and public amenity, Policies KP5, T6, EN6, EN7 and EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

24. *Air Quality:*

No above groundworks shall take place until an Air Quality Scope of Works has been submitted to and approved in writing by the Local Planning Authority. The scope of works and the methodology of the assessment of the air quality and shall accord with the Local Air Quality Management (LAQM) Technical Guidance TG16, February 2018. The assessment shall be undertaken in accordance with the approved scopes of works and methodology and submitted and approved in writing with the Local Planning Authority before above ground works commence on site.

Reason: To ensure that the development does not generate an unacceptable level of air pollution and is appropriately controlled, in accordance with Policy EN13 of the adopted City of Cardiff Local Development Plan (2006-2026).

25. *Foul Drainage System:*

No building shall be occupied until the foul drainage system for the site has been completed in accordance with the approved details. Thereafter no further surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment, in accordance with Policy EN10 of the adopted City of Cardiff Local Development Plan (2006-2026).

RECOMMENDATION 2: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;

- Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

RECOMMENDATION 3: A commercial contract is required for the collection and disposal of all commercial waste. By law (Environmental Protection Act, 1990, section 34) all commercial premises have a duty of care to ensure that their waste is transferred to and disposed of by a registered waste carrier. Owners or developers of commercial developments/properties who require Cardiff County Council to collect and dispose of their waste can contact the commercial services department on c.services@cardiff.gov.uk. Please refer the agent/architect to the Waste Collection and Storage Facilities Supplementary Planning Guidance (2016) for further relevant information. www.cardiff.gov.uk/wasteplanning

RECOMMENDATION 4: The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dwr Cymru Welsh Water on 0800 085 3968 to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

RECOMMENDATION 5: The applicant is advised that Advertisement Consent is required prior to the display of any signage on site.

RECOMMENDATION 6: A statutory duty as set out in section 6 of the Environment (Wales) Act 2016 has been introduced which requires public bodies such as Cardiff Council to seek to maintain and enhance biodiversity, and in doing so to promote the resilience of ecosystems, in the exercise of their functions.

Furthermore, section 5.2.8 of Planning Policy Wales states that:- 'The planning system has an important part to play in meeting biodiversity objectives by promoting approaches to development which create new opportunities to enhance biodiversity, prevent biodiversity losses, or compensate for losses where damage is unavoidable.'

In his letter to Heads of Planning of 23/10/19, the Chief Planner emphasised this point with the following:-

'Planning Policy Wales (PPW) 10 sets out that "planning authorities must seek to maintain and enhance biodiversity in the exercise of their functions. This means that development should not cause any significant loss of habitats or populations of species, locally or nationally and must provide a net benefit for biodiversity" (para 6.4.5 refers).' Any application should demonstrate how this will be the case.

RECOMMENDATION 7: If the social housing is grant funded by Welsh Government, then the social housing would require to achieve the Secured by Design Gold Award to comply with the Welsh Government's Development Quality Requirements (DQR). The applicant would therefore be advised to liaise with South Wales Police and contact Michael Harvey; Michael.Harvey2@south-wales.pnn.police.uk.

RECOMMENDATION 8: The applicant is advised that section 3.25 of Planning Policy Wales states that the land use planning system should take account of the conditions which are essential to the Welsh language and in so doing contribute to its use and the Thriving Welsh Language well-being goal. In this context and with regard to the Welsh Language (Wales) Measure 2011, it is recommended that: (1) developments adopt a Welsh name that is consistent with the local heritage and history of the area, (2) during the construction phase, on site marketing information (i.e. text on construction hoardings / flags / banners – as consented) be provided bilingually and (3) for commercial developments, shopfront / premises signage be provided in Welsh or bilingually. Where bilingual signage is provided, Welsh text must not be treated less favourably in terms of size, colour, font, prominence, position or location (it is recognised that Welsh translation does not extend to company / business names). Cardiff Council's Bilingual Cardiff team (BilingualCardiff@cardiff.gov.uk) can provide advice on unique and locally appropriate Welsh names for developments, bilingual marketing / branding and bilingual signage.

RECOMMENDATION 9: Since January 7th 2019, all new developments of more than 1 house, or where the construction area is 100 square metres or

more, require sustainable drainage to manage on-site surface water. Surface water drainage systems must be designed and built in accordance with mandatory standards for sustainable drainage published by the Welsh Ministers.

These systems must be approved by the local authority acting in its SuDS Approving Body (SAB) role before construction work begins. The SAB will have a duty to adopt compliant systems so long as they are built and function in accordance with the approved proposals, including any SAB conditions of approval.

It is recommended that the developer engage in consultation with the Cardiff Council SAB team as the determining SuDS Approval Body (SAB) in relation to their proposals for SuDS features. To arrange discussion regarding this please contact SAB@cardiff.gov.uk

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 The application seeks full planning permission for a five storey mixed-use development, comprising 50 apartments and one retail store (Use Class A1). The residential units will be 100% affordable housing.
- 1.2 The development will be primarily four storeys, with a centrally located fifth storey. The scale will gradually reduce to the south-east to two storeys. The apartments will comprise 10x two-bedroom units and 40x one-bedroom units. The units have been split into two blocks; Block A to the west and Block B to the east (above the retail store), separated at ground floor level by an underpass. The underpass will lead to 6 residential car parking spaces to the rear, 2 residential cycle parking stores (60 spaces) and an outdoor communal amenity space measuring approximately 450sqm. 22 residential car parking spaces will be provided to the front. The residential refuse store is located adjacent to the underpass.
- 1.3 The commercial unit will measure 384.3sqm and will be used as a supermarket (Use Class A1). This will be located to the east of the site and will include a front of house and back of house unit. Along Colchester Avenue to the front will be a parking area comprising 11 car parking spaces, 10 commercial cycle parking spaces, commercial refuse and an external plant area.
- 1.4 Landscaping in the form of rain gardens and 4 replacement trees are proposed, replacing the previously felled trees. This includes an *Acer grandidentatum* tree on the northern corner of the site adjacent to Colchester Avenue. Additional planting is proposed to the southern boundary. The boundary treatment will be a dwarf wall with railings and hedgerows will also be included. The front car parking spaces and pedestrian crossings will be block paved.

Access

- 1.5 The existing pedestrian access routes will be maintained. A new footway will adjoin the site along Colchester Avenue to the north which will extend into the

site and the footpath to Melrose Avenue will be improved. The existing access from Lady Margaret Court will remain. There will be two vehicle access points; one from Colchester Avenue and the other via Lady Margaret Court. A raised pedestrian crossing is proposed to the vehicular entrance on Colchester Avenue to give pedestrians priority and slow vehicles turning in and out.

2. DESCRIPTION OF SITE

- 2.1 The application site comprises a vacant rectangular shaped plot of brownfield land situated on the southern side of Colchester Avenue. The site features two buildings; a disused car sales garage to the north-east fronting Colchester Avenue, which was formerly a fuelling station and the former 'Three Brewers' public house to the rear, which closed in July 2019. The site measures 0.36ha in area.
- 2.2 Surrounding the site to the north-west is Lady Margaret Court, a three storey mixed-use parade elevated above ground level. This features four commercial units at ground floor level (Use Classes A1, A3 and D1) and two storeys of residential units above, with associated parking to the front and rear. To the north and north-east is Colchester Avenue with predominantly two storey semi-detached and detached dwellings beyond. To the south-west is a three storey apartment block with an underpass leading to a parking court to the rear. Further to the west is another three storey apartment block with residential streets beyond, mainly comprising two storey semi-detached dwellings. Directly to the south on Doe Close is a development of three storey dwellings.
- 2.3 The application site falls within the settlement boundary as defined by the Adopted Local Development Plan proposals map and has no specific land use allocation or designation. The closest District Centre is Albany Road/Wellfield Road, which is an approximate 950 metre walking distance away to the south-west. Newport Road which features a number of large scale commercial units is located approximately 400 metres away to the east.
- 2.4 There are two schools in close proximity; Howardian Primary School is located 300 metres to the north-east and Marlborough Primary School is approximately 850 metres to the south-west. In terms of recreational facilities, Roath Recreation Ground is an approximate 800 metre walking distance to the west. Hammond Way open space is located 250 metres to the north and Howardian Local Nature Reserve is located 600 metres to the north.
- 2.5 Whilst the site is currently enclosed by security fencing and hoarding, it was previously accessed by road to the north-east along Colchester Avenue. Two sewer easements cross the site diagonally; one to the north and the other to the south.
- 2.6 The car sales garage part of the site benefits from two applications that were resolved to grant but the Section 106 legal agreements were not signed. The first was recommended for approval by Committee on 12th April 2017 (ref: 16/02882/MJR) and proposed a four storey entirely residential scheme providing 19 apartments. The second was recommended for approval by officers on 5th July 2018 (18/00386/MJR) under delegated powers and proposed a four storey building

comprising a retail store at ground floor level and 10 residential units above.

3. SITE HISTORY

- 04/00756/R – Demolition of existing car sales, forecourt and canopy structures to create 17 no. one- and two-bedroom apartments, car parking and amenity space. Withdrawn
- 04/01961/E - Demolition of existing car sales, forecourt and canopy structures to create 17 no. one- and two-bedroom apartments, car parking and amenity space. Permitted: 04/04/2006
- 16/02882/MJR - Proposed demolition of existing building and construction of residential development of 19 self-contained apartments, new access, parking, cycle, refuse storage and amenity facilities. Resolved to grant subject to S106 Legal Agreement (not completed)
- 18/00386/MJR - Proposed demolition of existing building and construction of ground floor retail unit with 10 self-contained apartments for a dedicated RSL, access, parking, cycle, and refuse facilities. Resolved to grant subject to S106 Legal Agreement (not completed)
- PRNO/20/00002/MNR – Demolition of former public house, car showroom and any associated structures. Permitted: 06/08/2020

4. POLICY FRAMEWORK

4.1 The following national planning policy and guidance is considered to be of particular relevance:

4.2 Planning Policy Wales (PPW) (Edition 10, December 2018)

4.3 The following Technical Advice Notes (TANs) are relevant:

- TAN 4: Retail and Commercial Development (November 2016)
- TAN 11: Noise (October 1997)
- TAN 12: Design (March 2016)
- TAN 18: Transport (March 2007)

4.4 The following local planning policy and guidance is considered to be of particular relevance:

4.5 Cardiff Local Development Plan 2006-2026:

- KP5 Good Quality and Sustainable Design
- KP7 Planning Obligations
- KP8 Sustainable Transport
- KP9 Responding to Evidenced Economic Needs
- KP12 Waste
- KP13 Responding to Evidenced Social Needs

- KP15 Climate Change
- H3 Affordable Housing
- H6 Change of use or Redevelopment to Residential Use
- EN8 Trees, Woodlands and Hedgerows
- EN10 Water Sensitive Design
- EN11 Protection of Water Resources
- EN13 Air, Noise, Light Pollution & Land Contamination
- T1 Walking & Cycling
- T5 Managing Transport Impacts
- R1 Retail Hierarchy
- R6 Retail Development (Out of Centre)
- C2 Protection of Existing Community Facilities
- C3 Community Safety/ Creating Safe Environments
- C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport
- C7 Planning for Schools
- W2 Provision for Waste Management Facilities in Development

4.6 Supplementary Planning Guidance:

The following Supplementary Planning Guidance (SPG) is of relevance:

- Green Infrastructure Consultation Draft (2017)
- Managing Transportation Impacts (Incorporating Parking Standards) (July 2018)
- Planning Obligations (2017)
- Waste Collection and Storage Facilities (2016)
- Infill Sites (November 2017)

5. INTERNAL CONSULTEE RESPONSES

5.1 Transportation:

Cycle Parking:

- 5.2 Whilst the number of cycle spaces is supported (60x residential and 8x commercial spaces), officers seek an alternative to the two-tier residential spaces. Given that there is sufficient space on site, a cycle parking condition has been recommended.

Car Parking:

- 5.3 Officers have expressed concerns with the amount of commercial car parking that is being proposed. The total of 11 commercial car parking spaces are proposed in the area fronting Colchester Avenue, which is in excess of the numbers allowed in Cardiff Councils parking standards. The applicant states that the overall amount of parking spaces is within the SPG amounts. Whilst this is true, in order to be a valid point, this will require the commercial parking to be available to residents. Officers note that as a result of the proposal, 5 spaces associated within Lady Margaret Court are lost (effectively re-allocated to residents) and these could theoretically park in the new commercial parking

instead (whether they would be another matter). Subject to the commercial spaces being made available to residents, officers consider that the amount of car parking spaces is acceptable. However, it is necessary for this to be confirmed/considered in detail via a car park strategy condition.

Highway and Pedestrian Access:

- 5.4 To ensure that there is no inconvenience for pedestrians at the expense of cars and commercial vehicles, a condition has been recommended for further details to be submitted in relation to the proposed accesses, including details of footways and dropped kerbs.
- 5.5 **Trees:** The applicant has provided amended landscaping plans to address the Tree Officers concerns. The officer requests that the development is undertaken in full accordance with the approved Arboricultural Method Statement and Tree Protection Plan and requests a topsoil and subsoil specification condition. The replacement trees are welcomed. Subject to these conditions, the Tree Officer raises no objection.
- 5.6 **Ecology:** The proposed landscaping scheme and the Bat Activity Survey Report have been assessed. It is noted that the three Crack Willows across the centre of the site have been felled. The supporting Wildwood Ecology letter (dated: 16/07/2020) confirm that on the 12th September 2019 one weeping willow tree was confirmed as having no suitability to support roosting bats and that two had low potential to support roosting bats (one had a visible knothole at ground level and the other had dense ivy around the trunk). The accessible feature (knothole at ground level) was endoscoped during the preliminary survey in September and no signs of bats or bats themselves were found. As per the BCT survey guidelines no further surveys on low potential trees are therefore required. The locations of potential bat and bird boxes have been shown on aforementioned Ecology letter and are supported by the Ecology Officer.
- 5.7 The applicant has introduced bulb and woodland planting to the southern boundary as part of the landscape strategy, in order to maintain the ecological connectivity and the bat flight corridor. The 4 replacement trees are welcomed as they replace the previous 3 trees felled. As such, no objection is raised.
- 5.8 **Affordable Housing:** This planning application has been submitted by one of the Councils partner Registered Social Landlords (RSL) (Wales & West Housing Association). The Housing Development team has confirmed that they will work with Wales & West Housing Association to ensure the successful delivery of the scheme.
- 5.9 The development will comprise of 50 units of new affordable housing for general needs accommodation and the planning permission should not restrict the age of the residents eligible to live there.
- 5.10 **Regeneration:** Officers note that the Cardiff Planning Obligations SPG 2017 (Section 8 – Community Facilities) states that ‘Growth in population arising from

new development generates demand for and increases pressure on community facilities. To meet the needs of future residents, it may be necessary to meet this additional demand through:

- The provision of new facilities,
- The extension to, or upgrading of existing facilities’.

5.11 If no onsite provision is proposed, a financial contribution is sought on residential developments containing 25 or more new dwellings where it has been identified that investment in community facilities will be required to meet the needs of the new population.

5.12 The formula in the SPG is based on the number of bedrooms and associated occupancy figures per dwelling, and is calculated as follows:

No. of bedrooms	Number of Dwellings	Contribution per dwelling	Totals
1	40	£720.51	£28,820.48
2	10	£997.63	£9,976.32
TOTALS:			£38,796.80

5.13 In summary, a contribution of £38,796.80 is sought from the developer. The developer has accepted this figure.

5.14 Several community facilities are located within proximity to the site and are likely to experience an added pressure as a result of the new population. It is envisaged that a forthcoming community facilities contribution would be directed towards one of these facilities.

5.15 **Parks:** These comments relate to the current Local Development Plan (LDP) Policies C5 (Provision for Open Space, Outdoor Recreation, Children’s Play and Sport), KP16 (Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council’s approach to open space provision.

5.16 Given that no formal public open space is being provided on-site, officers have requested a financial contribution towards the provision of new open space, or the design, improvement and/or maintenance of existing open space in the locality. This is to address the demand for usage of the existing open spaces, which would increase in the locality as a result of the development.

5.17 The figure has been based on the information provided on the number and type of units. Officers have calculated the additional population generated by the development to be 70. This generates an open space requirement of 0.17 ha of on-site open space based on the criteria set for Housing accommodation, or an off-site contribution of £72,628. This will be secured by way of a Section 106 Legal Agreement. The applicant has accepted this figure.

5.18 Consultation will take place with Ward Members to agree use of the

contribution, and this will be confirmed at S106 stage. The closest area of recreational open space is Hammond Way open space, with Waterloo Gardens, Roath Mill Gardens and Roath Brook Gardens also accessible. On the previous application the proposed use was for design provision improvement and/or maintenance of Hammond Way open space, including play area, and the adjacent Scholars Gate open space.

- 5.19 **Contamination**: The applicant has provided a Geotechnical and Geoenvironmental Site Investigation Report (dated: August 2019). This includes a detailed assessment of the risk to human health and the environment from potential contamination and ground gases, based on desk studies and data from several phases of site investigation works.
- 5.20 The ground gas risk assessment indicates the ground gas regime can be classified as 'Characteristic Situation 2', requiring ground gas protection measures as part of the development. The contamination assessment identifies contaminants of concern within shallow soils which will require remediation to ensure the development is suitable for use.
- 5.21 Should there be any importation of soils to develop the garden/landscaped areas of the development, or any site won recycled material, or materials imported as part of the construction of the development, then it must be demonstrated that they are suitable for the end use. This is to prevent the introduction or recycling of materials containing chemical or other potential contaminants which may give rise to potential risks to human health and the environment for the proposed end use.
- 5.22 Therefore conditions and informative statements in accordance with CIEH best practice have been recommended to ensure that the safety of future users is not prejudiced in accordance with Policy EN13 of the Cardiff Local Development Plan. The following standard conditions have been recommended; ground gas protection, contamination land measures (assessment, remediation and verification plan and unforeseen contamination), imported soil, imported aggregates and use of site won materials.
- 5.23 **Waste Management**: Officers raise no objection to waste storage areas for the commercial and residential units. A separate bulky waste area has been provided in the residential refuse store.
- 5.24 **Pollution Control (Noise)**:
- Residential:*
- 5.25 The Officer notes that there are a number of flats that have a party wall adjacent to the elevator shafts. Such shafts and lifts are known to create spikes in airborne and structure borne noise, sporadically, which if not correctly managed can cause significant impact on the use and enjoyment of the proposed home. As such, a condition has been recommended to protect the amenity of future residents, focusing efforts on the building design at tender stage for proposed lifts.

Commercial:

- 5.26 The Noise Officer has requested a number of conditions. The conditions shall restrict opening hours to 06:00 to 23:00 on any day and servicing times to 08:00 to 20:00 on any day. Given that the proposed A1 unit shares a party floor/ceiling with residential units above, a sound insulation condition has been recommended, to ensure no harm is caused to the amenity of the residents. A condition has been recommended for a Noise Assessment to be provided for the external plant machinery.
- 5.27 **Pollution Control (Air)**: Due to the nature of the development the applicant must potentially consider two phases in accordance with impacts derived by air quality; Construction and Operational phase.

Construction Phase:

- 5.28 Due to the close proximity of residential dwellings to the proposed development it is considered best practise to adopt the principles stipulated in IAQM "Guidance on the assessment of dust from demolition and construction." A Construction Environmental Management Plan has therefore been recommended as a condition (see Condition 23 above).

Operational Phase

- 5.29 The applicant is required to provide an assessment for the proposal's usage and what is the expected amount of vehicle trips generated as a result of the development in place.
- 5.30 Should the assessment indicate that existing nearby residents, and future occupants will be made vulnerable to poor air quality then appropriate mitigation measures must be proposed and approved by the Local Planning Authority. The applicant will be expected to adopt an appropriate approach to building an evidence package that supports the implementation of mitigation measures (Defra's Damage Cost Appraisal). If agreed, these mitigation measures shall be implemented to the satisfaction of the Local Planning Authority prior to beneficial occupation.
- 5.31 An Air Quality Scope of Works condition has been recommended (see Condition 24 above).
- 5.32 **Education**: The Officer notes that the yield of pupils from such a small development will have a very little impact on the capacity of local schools. The calculated gross yield of pupils, based on 40 x 1 bedroom and 10 x 2 bedroom flats, will be significantly below 1 child per year group. In accordance with the Council's adopted Supplementary Planning Guidance, no obligation would be sought.

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 **Welsh Water:** No objection is raised in principle however conditions and advisory notes have been recommended.
- 6.2 **Police:** South Wales Police notes that if the social housing is grant funded by Welsh Government, then the applicant is advised to get in contact, as the social housing would require to achieve the Secured by Design Gold Award to comply with the Welsh Government's Development Quality Requirements (DQR).

7. REPRESENTATIONS

- 7.1 The application was subject to a 21-day consultation period, being advertised by press and site notices as a major application and neighbours and local members were notified.
- 7.2 A petition of objection has been submitted by Councillor Berman and Councillor Boyle with 451 signatures. The petition was submitted on grounds of the proposal being an over-development, lacking design merit and leading to traffic chaos at a busy junction on a route to a school.
- 7.2 55 letters of objection have been received from residents, summarised as follows:
- Additional housing not needed in the area, due to lack of amenities
 - The loss of the public house is a loss to the community
 - The size, scale, massing and design will appear out of character and is considered overdevelopment
 - No communal amenity space, which is especially important during Coronavirus pandemic; substandard housing
 - Overlooking / loss of privacy, loss of light
 - First floor coach house at Doe Close has no ground floor windows; the BRE 25 degree rule doesn't comply
 - Potential increased noise
 - Affordable housing results in crime and antisocial behaviour, having a negative impact on neighbouring residents and house prices
 - Difficult for community engagement during pandemic
 - Concerns with lack of transport assessment
 - Concerns regarding existing traffic problems in locality which has resulted in serious accidents and an unsafe environment for school children, which will only get worse
 - Additional traffic results in more pollution, contrary to Welsh Government 2015 Future Generations Act
 - Concerns regarding lack of existing and proposed parking spaces
 - Lady Margaret Court crossing needs upgrading; dangerous for school children
 - A supermarket is unnecessary and would affect the viability of the local newsagents
 - Public transport would be further delayed. The area has poor public transport – no trains, only 2x bus routes (neither go into city centre)

- Buses are infrequent and the digital display is often wrong
- The proposal will bring more pressure to already stretched refuse and collection resources in the area
- Concerns with assessment of Bat Report with potential impact to other wildlife
- The cladding might be flammable
- Objections not addressed in Pre-App Consultation report
- The local primary school is close to capacity and likely to become oversubscribed
- Local amenities will be overcrowded at a time social distancing is so important.
- The Design and Access Statement fails to show all the houses in close proximity
- Lack of trees/screening and 4x trees already removed. No provision to replace any of them.
- Colchester Avenue and Waterloo Road are major emerging response routes for Fire, Paramedic and Police services. This development would reduce response times

7.3 Councillor Berman and Councillor Boyle submitted a further detailed objection. For the benefit of members this has been summarised below:

- The application does not address the objections raised at the pre-application consultation phase
- Footprint, scale, massing and height is out of character with the surrounding area.
- The proposal does not comply with the 25 degree rule, resulting in the building being overbearing to the properties on Doe Close.
- Poor quality design that lacks innovative contemporary architecture and is out-of-character with surrounding area
- Inadequate amount of amenity space and lack of balconies is a concern, especially following the current Coronavirus outbreak
- Detrimental impact on neighbours in terms of overlooking and overshadowing
- 50 new units will bring pressure on local schools, which are already near capacity
- Insufficient space on plot for the amount of flats, car parking and a retail unit
- Insufficient amount of car parking spaces, which will create additional pressures on local parking
- Concerns with increased traffic which is already excessive due to the opening of Howardian Primary School. The situation will be considerably worsened by the addition of a new retail unit. The increased traffic will also have a detrimental impact on pedestrian conditions, not least for school children
- There is no justification for a new retail unit, given the number of supermarkets in close proximity
- Failure to carry out rigorous traffic assessment. The Traffic Technical Note lacks information on analysis of traffic flow, journey frequency, pedestrian usage and there is no reference to the safe routes to school efforts at Howardian Primary School
- The car-dominated frontage is contrary to the Residential Design Guide SPG
- Design and Access Statement is misleading in terms of local context, choosing

- unremarkable buildings to justify the drab design
- Failure to address environmental sustainability and TAN 12 and the environmental requirements of a city that has declared a climate emergency

8. ANALYSIS

8.1 The main issues to be assessed are:

- a. Proposed land use
- b. Design
- c. Impact on residential amenity
- d. Transport and accessibility
- e. Other considerations

a. Proposed land use

8.2 The application site falls within the settlement boundary as defined by the adopted Cardiff Local Development Plan (LDP). The site has no specific land use allocation or designation. As such, the loss of a Class A3 (public house) use does not raise any land use policy issues.

8.3 The surrounding area is predominantly residential. Policy H6 of the LDP permits the change of use of redundant premises or redevelopment of redundant previously developed land for residential use where:

- i. There is no overriding need to retain the existing use of the land or premises and no overriding alternative local land use requirement;
- ii. The resulting residential accommodation and amenity will be satisfactory;
- iii. There will be no unacceptable impact on the operating conditions of existing businesses;
- iv. Necessary community and transportation facilities are accessible or can be readily provided or improved; and
- v. It can be demonstrated that the change of use to a more sensitive end use has been assessed in terms of land contamination risk and that there are no unacceptable risks to the end users.

8.4 Assessed against LDP Policy H6 (Change of Use or Redevelopment to Residential Use), the principle of the development of the front part of the site is considered to have been established by two applications that were resolved to grant but the Section 106 Legal Agreements were not signed (refs: 16/02882/MJR and 18/00386/MJR). The site comprises brownfield land, within the settlement boundary and in a highly sustainable location, within close proximity to a number of local services and amenities and easily accessible by sustainable modes of transport.

8.5 In relation to the proposed retail unit, the application site is not located within a designated centre as defined by LDP Policies R2, R4 and R5, and is out of centre in terms of retail policy. The proposed retail unit should therefore be assessed against Policy R6 (Retail Development (Out of Centre)). Policy R6 only allows for retail development outside the Central Shopping Area, District

and Local Centres identified on the Proposals Map if the proposal would meet the following criteria:-

- (i) There is a need for the proposed floorspace (with precedence accorded to establishing quantitative need);
- (ii) That need cannot satisfactorily be accommodated within or adjacent to the Central Shopping Area, within a District of Local Centre;
- (iii) The proposal would not cause unacceptable harm to the vitality, attractiveness or viability of the Central Shopping Area, a District or Local Centre or a proposal or strategy including the Community Strategy, for the protection or enhancement of these centres;
- (iv) The site is accessible by a choice of means of transport; and
- (v) The proposal is not on land allocated for other uses. This especially applies to land designated for employment and housing, where retail development can be shown to limit the range and quality of sites for such use.

8.6 In respect of Policy R6, the retail floorspace measures 384.3sqm and it is considered that a formal retail impact assessment is not required. Paragraph 5.282 of the LDP states that in addition to local centres identified on the proposals map, there are numerous smaller groups of shops and individual corner shops across the county that provide valuable shopping facilities to surrounding communities. In this instance the application site adjoins a local parade of shops and given the modest amount of retail floorspace proposed, it is considered to be of an appropriate scale to provide a complementary convenience goods top-up function to meet the day to day shopping needs of local residents. It is acknowledged that expenditure will be localised and will not cause unacceptable harm to the vitality or viability of established District or Local Centres. As such, this element of the proposal raises no retail policy concerns.

8.7 Further, paragraph 1.18 of Planning Policy Wales (Edition 10, December 2018) states *"it is not the function of the planning system to interfere with or inhibit competition between users of and investors in land"*. Given this advice, the objection on competition grounds with the convenience store located at Lady Margaret Court is not a material consideration in the assessment of this application.

8.8 In light of the above, taking into account the context and setting of the surrounding area, within the settlement boundary, in a sustainable location and well served by public transport, the proposal raises no land use policy concerns.

b. Design

8.9 Cardiff Local Development Plan (LDP) Policy KP5 (Good Quality and Sustainable Design) contains criteria for assessment of new development proposals to ensure that high quality, sustainable designs occur which positively contribute to the creation of distinctive communities, places and spaces.

Layout:

- 8.10 The layout responds to the site context by being set back from the plot frontage along Colchester Avenue, but continuing the established building line along Melrose Avenue to the south-west. The block helps to form a clear distinction between the public front of the development and the private areas to the rear, which is considered good urban design. Car parking to the front of the retail store is located along the Colchester Avenue street frontage, allowing a street facing entrance to the shop. The plot coverage leaves a considerable amount of amenity space to the rear and so the plot is not considered excessive. The resulting street profile for both Colchester Avenue and Melrose Avenue is also acceptable, creating well-defined streets with a strong frontage and a reasonable height to width street section. The Melrose path connection is also a welcomed addition as it directly connects the dwellings fronting Melrose Avenue with Colchester Avenue. The new building is set back behind an acceptable defensible space in relevant areas to afford a degree of privacy to ground floor residents where the paths and pedestrian areas pass.
- 8.11 The location of the retail store on the most prominent corner delivers an active commercial frontage which will help animate the street, and promotes a mix of uses in the area within close walking distance to many homes. This key aspect of the scheme's design helps to enhance the sustainability of the wider neighbourhood, allowing people to walk to a store for convenience goods.

Scale and Massing:

- 8.12 The proposal is predominantly four storeys with a partial fifth storey element. Whilst officers note there are no buildings in the locality that are this tall, the fifth storey is sited in the most prominent location and in a good space, facing the corner onto Colchester Avenue. This will create a building that will create a local focus within the community. This enhances the legibility of the area in a way officers find acceptable. This will help to establish, in combination with the convenience store use, a stronger sense of place in the area. The building then steps down to four storeys to the west, matching the number of storeys to the adjacent apartment block along Melrose Avenue. Whilst it will be marginally higher, it will match the existing stepping-up relationship between the two existing apartment blocks along the street. The height will also be similar to Lady Margaret Court, which is elevated above ground level. To the south the scale is staggered, stepping down gradually from four to two storeys, leaving a separation gap of 14 metres to the south-east boundary along Colchester Avenue. The closest buildings to the south are along Doe Close and are predominantly three storeys high. As such, the proposed scale will not appear to be out of character within the surrounding context.

Architectural Design:

- 8.13 The proposed architectural design is considered suitable in this context. The facades are well composed with large windows resulting in a more pleasant living environment, providing more light to the apartments, but also a positive open aspect to the street frontage. It also allows good surveillance of the street

as well as the parking and garden to the rear. The scheme results in a well-designed contemporary building using materials common to the area, with three varied tones of brickwork breaking up the facades to provide visual interest. Overall, officers believe that it will be a positive and attractive addition to the streetscape.

Landscape Design:

- 8.14 The scheme will introduce a significant improvement to the streetscape in the area. The pedestrian access to the new homes introduces block paved pedestrian crossings and paths leading to the entrances. The dwarf wall with railings to the front boundary is attractive, and clearly demarcates the extent of the public space, and privately managed and maintained areas. The use of rain gardens, the introduction of a street tree on the prominent corner and the use of hedgerows will soften the frontage further. Officers consider that the tree will be a significant feature of the townscape in the future. The front parking spaces and paths are block paved and will improve the appearance of these areas of hard landscape.

Amenity of Future Occupiers:

- 8.15 Adequate amenity space is provided through the provision of communal amenity space of approximately 450sqm located to the rear of the site, which can be accessed by all residents. Whilst officers note the residential units do not provide private balconies, the units are a reasonable size and the use of Juliette balconies provides good outlook. The amenity space will be landscaped and have good access to sunlight, making it a desirable space.

c. Impact on residential amenity

- 8.16 The scheme has been carefully assessed against the Council's SPG guidance on both ambient light and privacy, and early submissions have been adjusted to bring the development in line with the required standards. This is reflected in the drop in scale of the building as its gets closer to affected properties on Doe Close.

Overlooking and Privacy:

- 8.17 Paragraph 4.9 of the Infill Sites SPG (2017) states that a minimum of 21 metres should be maintained between principal windows to habitable rooms. The distance of the subject developments facing windows at first, second and third floor level to the windows at No's 5-10 Doe Close will be 31 metres, complying substantially with the SPG guidance.
- 8.18 Para. 4.9 follows on to state that the minimum overlooking distance from a habitable room window to a garden area of a separate dwelling should be 10.5 metres. The closest gardens to the site are at No's 5-10 Doe Close to the south. The windows that will face these gardens will have a separation distance of 19 metres, exceeding the distance in the above guidance. Notwithstanding this, any scope for overlooking will be further reduced by the trees and planting on

the boundary which will obscure views. Whilst it is noted that Unit 20 will have a bedroom window at a distance of 8.3 metres from the boundary, this window will be facing a car parking area and the view will be at an angle.

- 8.19 There will be no loss of privacy to the apartments to the west, as the windows on the facing elevation of this building are obscurely glazed. Lady Margaret Court which lies to the north, does not have any residential windows facing the site and does not feature any private amenity space. The living conditions of the occupiers to the dwellings on the opposite side of Colchester Avenue will not be detrimentally affected, as the separation distance will be approximately 30 metres.

Outlook and Sense of Enclosure:

- 8.20 The proposed development has considerable separation distances from the neighbouring buildings and private amenity spaces and the scale has been considerably reduced to the south-east. Further, the southern boundary has a number of trees that act as screening. As such, it is considered that there will be no undue sense of enclosure or loss of outlook to the neighbouring occupiers' living conditions.

Sunlight and Daylight:

- 8.21 The assessment of sunlight and daylight is based on the Building Research Establishment (BRE) guide 'Site Layout Planning for Daylight and Sunlight: a guide to good practice' by P J Littlefair 2011.
- 8.22 The massing of the proposed building is staggered towards the south-east, where the scale is reduced gradually from four storeys down to two storeys. The proposal complies with the 25 degree rule, whereby the building does not encroach on the 25 degree angle from the centre of the lowest facing windows on the properties at Doe Close. As such, the windows to these buildings will continue to have adequate levels of daylight. Officers note the objection regarding the coach house which faces the site on Doe Close and features front garages at ground floor level rather than windows. Whilst officers agree that the 25 degree rule does not apply here, given that the dwellings main habitable windows are at first floor level, the dwelling will continue to have good levels of daylight. The siting and aspect of the proposal means that there will be no adverse overshadowing of the neighbouring buildings. In light of the above, it is considered that the proposal will not adversely harm the living conditions of the neighbouring occupiers.
- 8.23 Further, given the considerable set-backs from the boundary, it is highly likely that the development at Doe Close was designed to ensure that future development on the subject site would not be prejudiced.

Other matters impacting upon amenity:

- 8.24 The hours of operation proposed to the commercial unit is 06:00 to 23:00 hours on any given day. Servicing will be restricted to 08:00 to 20:00 hours. These

operation hours are not considered to be unreasonable and will not result in an unacceptable level of noise disturbance in this location. To ensure the external plant equipment doesn't harm neighbour's amenity, a noise assessment has been requested by condition.

d. Transport and accessibility

- 8.25 The proposed development provides 33 car parking spaces in total, comprising 22 spaces for residents and 11 spaces for the commercial use. The commercial spaces will exceed the maximum amount of spaces within the Managing Transportation Impacts (Incorporating Parking Standards) (2018) SPG. The applicant argues that the total amount of spaces (when combining the residential and commercial spaces) will accord with the SPG requirements. The Planning Officer refutes this assertion, and has recommended a condition to require the commercial parking to be available to residents. Subject to the commercial spaces being made available to residents, the amount of car parking is therefore acceptable. This will be confirmed and considered in detail via a car park strategy condition (Condition 6) and shall include disabled parking.
- 8.26 Officers note the objections raised regarding the insufficient amount of car parking spaces within the development, which the objectors suggest will create additional pressures on local parking. Policy T5 of the adopted LDP require development to accord with the council parking standards, as outlined in the approved SPG. Paragraph 6.1 of the approved 'Managing Transportation Impacts' SPG states that *'the availability of parking spaces and their location can influence travel choices. Excessive provision can serve to stimulate demand for car travel and perpetuate reliance on the car. The application of parking standards to new developments is therefore an important tool in managing demand for travel by car and encouraging a shift to sustainable transport modes'*. The aforementioned SPG uses maximum parking standards (as required by Planning Policy Wales), and there is no minimum amount of car parking that has to be provided. As the proposed parking meets the Council's parking standards (subject to the condition), and there is no objection from the council's Transportation Manager on highway safety grounds, it is considered that the proposal accords with national and local transport planning policy.
- 8.27 Objections have been raised regarding the amount of traffic that may be created. Transportation Officers have assessed the submitted information and plans in the context of the area and conclude that they do not consider that the overall number of additional trips will be significant. Given the relatively small size of the commercial unit, it will likely serve the immediate neighbourhood. This accords with policy, and it is considered that the proposal will support the Council's policy of seeking to encourage a modal shift from private car use.
- 8.28 With regard to concerns with pedestrian safety, Transport Officers do not consider that the highway access information put forward will result in safety issues. Further, the Lady Margaret Court parking area / fourth arm of the traffic signals is currently not well defined and will be improved (especially for pedestrians) as a result of the proposals. As works are proposed to the public

highway a separate technical approval will be required from the Council's Highways Department.

- 8.29 No objections from Transportation Officers have been raised with regard to the potential servicing of the retail unit. A servicing operation hours condition has been applied.
- 8.30 The proposed Transport Technical Note from the applicant (dated: 16/09//2020) is considered to sufficiently address the potential transport impacts. The Transportation Officer concurs with the amended transport evidence submitted and raises no objections to the development, subject to the relevant conditions.

e. Other considerations

- 8.31 Officers note the objection raised regarding the potential pressure that that the development will have on local schools, which are already near capacity. The Education Officer was consulted and confirmed that the yield of pupils from the development will have a very little impact on local schools. The calculated gross yield of pupils, based on 40 x 1 bedroom and 10 x 2 bedroom flats, will be significantly below 1 child per year group. Officers consider that any potential pressure on local schools can be already be absorbed by the existing arrangements.
- 8.32 Concerns have been raised that the proposal is not a sustainable form of development. Both PPW and LDP Policy KP5 requires brownfield sites to be selected above greenfield at an efficient density. The site has reused a brownfield site with a mixed-use development of retail and residential above. The proposed number of residential units is considered an appropriate density and the planting of trees and soft landscaping helps meet sustainability objectives outlined in policy. It is noted that the proposal will be built to modern energy efficient standards which will aid to heat and water uses. Further, the site is in a sustainable location close to amenities and bus links. As such, the proposal is considered to meet the Councils objectives on sustainability.
- 8.33 Officers note that there were objections raised regarding previous objections not being addressed at the Pre-Application Consultation (PAC) phase. The objections were outlined in the PAC report and the applicant provided a response to each objection within the report.
- 8.34 There is no independent evidence to suggest that affordable housing results in increased crime and anti-social behaviour. There is similarly no evidence to suggest that the proposed development will reduce the response times for the Fire, Paramedic and Police services along Colchester Avenue.
- 8.35 Objections regarding the potential reduction in house prices and the broken digital bus displays are not material planning considerations.

9. SECTION 106 LEGAL AGREEMENT

9.1 The following planning obligations have been requested to mitigate any significant adverse impacts of the proposed development and to provide essential, enabling and necessary infrastructure as defined within LDP policies KP6 (New Infrastructure) and KP7 (Planning Obligations):

- (i) £38,796.80 for community facilities
- (ii) £72,628.00 for open space

9.2 These requests amount to a total sum of £111,424.80.

9.3 The applicant has confirmed their acceptance of the following obligations.

10. LEGAL CONSIDERATIONS

10.1 *Crime and Disorder Act 1998*: Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

10.2 *The Equality Act 2010* identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

10.3 *Wellbeing of Future Generations (Wales) Act 2016*: Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

10.4 *Statutory pre-application public consultation*: The statutory pre-application public consultation was carried out in accordance with legislation and is considered acceptable.

11. CONCLUSION

11.1 The proposal delivers a significant number of affordable housing units within a sustainable brownfield location. It will introduce a significant improvement to the streetscape in the area and it is not considered that it will harm the neighbouring

occupiers living conditions.

- 11.2 It is therefore recommended that planning permission be approved subject to the completion of a legal agreement to secure the measures identified in Section 9, and relevant conditions.



P2	Issued for approval	HJ	DT	14.05.20
P1	First Issue	MR	DT	16.10.19
Rev.	Description	Drawn	Check	Date

FOR APPROVAL

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Project

Colchester Avenue

Client

Wales & West Housing Association

Drawing Title

Site Location Plan

Job no.	Org.	Zone	Level	Type	Role	Description	Status	Rev.
3830	- PEN	- ZZ	- 00	- DR	- A	- 0001	S4	P2

Scale

1 : 1250 @ A4

Date

Oct '19

NOTES Do not scale. All dimensions are in millimetres unless stated otherwise



— Denotes Application Boundary

Site Area: 0.36ha

Note: All site & ownership boundaries to be confirmed by client.



General Key

- Site Boundary
To be confirmed by Client.
- Rain Gardens
All in accordance with Landscape Architects proposals.
- Bike Store
Two Tiered Store 60 no. capacity

Site Constraints

- Existing Trees/ Root protection zone
- Existing surface water
- 6m Sewer Easement
- 3m Sewer Easement

Boundary Key

- Dwarf wall with railings
500mm high brick wall with 700mm metal railings on top
- Railings
Min. 700mm metal railings
- Railings
Min. 1900mm metal railings
- Hit and miss timber fence with matching gates
1800mm high

Landscaping Key

- Block Paving
- Fine grade tarmac
- Post Box

Notes:
 Drawing produced using detailed topographical survey provided by Healer Surveys Land Surveyors.
 All services and utilities information & constraints based on detailed survey prepared by PHG Consulting Engineers, Ref: Constraints Plan - 1950 (Sept 2019)
 Tree constraints based on detailed survey prepared by ArbTS (Arboricultural Technician Services, Ref: Tree Constraints Plan - 761.1
 Read in conjunction with all other relevant project drawings and schedules.
 Drawings must not be scaled and any discrepancies must be reported immediately.
 Drawings must be printed in colour to ensure all elements are clearly identified.
 Ensure this document is only used for its intended purpose, the suitability is defined by the status code below. Pentan accepts no liability if used for any purpose other than that specifically stated.

Rev.	Description	Drawn	Check	Date
P12	Bin Store amended. Tree added near Colchester Ave. Block paving shown to parking spaces and pedestrian crossings/ footpaths. Amendments to bike stores, pedestrian crossing, bollard added and communal garden amended.	HJ	DT	05.10.20
P11	Scale bar/ north arrow added.	HJ	DT	15.07.20
P9	Area added	HJ	DT	29.06.20
P8	Landscaping amended. Issued for approval.	HJ	DT	19.06.20
P7	Issued for approval.	HJ	DT	20.05.20
P6	Communal garden added	HJ	DT	19.05.20
P5	Issued for approval	HJ	DT	15.05.20
P4	Issued for approval	HJ	DT	14.05.20
P3	Adjustments to site plan	HJ	DT	07.05.20
P2	Omitted parking spaces 30 and 31. Extended footpath and rain garden.	HJ	DT	05.05.20
P1	Issued for comment	HJ	DT	16.03.20

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Project
Colchester Avenue
Client
Wales & West Housing Association
Drawing Title

Proposed Site Plan- Colour

Job no.	Org.	Zone	Level	Type	Role	Description	Status	Rev.
3830 - PEN	- ZZ	- ZZ	- DR	- A	- 0004	S4	P12	

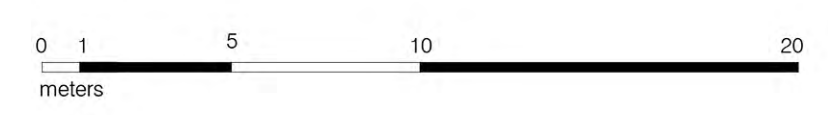
Scale
1 : 200 @ A1
Date
Oct 20

NOTES: Do not scale. All dimensions are in millimetres unless stated otherwise

Schedule of Accommodation

1no. Commercial Unit = 384.3sqm
Total number of commercial car parking spaces = 11
Total number of residential units = 50
Total number of residential car parking spaces = 29
Communal cycle storage spaces = 60
Public cycle parking spaces = 4
Staff cycle parking spaces = 8

Proposed Site Plan- Colour
1:200





- Site Boundary
- Existing Trees to be Retained
In line with 2021 Proposed Site Plan
- Proposed Specimen Trees
Planted in tree pits, filled as follows: 300mm soil depth formed of 300mm topsoil over 600mm subsoil. Soil cells used where appropriate.
- Root Available Soil Volume
Based upon a 1m depth
- Proposed Hedgerow
600mm soil depth formed of 300mm topsoil over 300mm subsoil
- Proposed Amenity Grass
300mm soil depth formed of 150mm topsoil over 150mm subsoil
- Proposed Flowering Lawn Mixture
Product: ELL Flowering Lawn Mixture
Supplier: Emerigate Seeds
Sowing rate: 4g/m²
300mm soil depth formed of 150mm topsoil over 150mm subsoil
- Proposed Wetland Meadow Grass
Product: EGB Meadow Grass Mixture for Wet Soils
Supplier: Emerigate Seeds
Sowing rate: 4g/m²
For proposed swale and pond layout refer to Engineers Layout, Drawing No. 0172_200
- Proposed Woodland Understorey
300mm soil depth formed of 150mm topsoil over 150mm subsoil
- Proposed Shade Tolerant Grass and Wildflower Seed Mix
Supplier: Emerigate Seeds
Product: EW1 - Woodland Mixture
- Proposed Bulb Planting
300mm soil depth formed of 150mm topsoil over 150mm subsoil
- Proposed Ornamental Planting
600mm soil depth formed of 300mm topsoil over 300mm subsoil
- Existing Easement - 6m
- Existing Easement - 3m
- 400 x 400 x 50mm Paving Slabs
- Gravel Strip
- Bench
- Bin

Schedule of Accommodation

1no. Commercial Unit = 384.3sqm

Total number of commercial car parking spaces = 11

Total number of residential units = 50

Total number of residential car parking spaces = 29

Communal cycle storage spaces = 60

Public cycle parking spaces = 4

Staff cycle parking spaces = 8

Planting Schedule

Trees						
Number	Common Name	Species	Girth	Height	Specification	Density
1	Bigtooth maple	Acer grandidentatum	12-14cm	300-350cm	RB :Clear Stem 175-200 :Standard	Counted
2	Sweet Gum 'Slender Silhouette'	Liquidambar styraciflua 'Slender Silhouette'			RB :Clear Stem 175-200 :Standard	Counted
1	Common Oak	Quercus robur	12-14cm	350-425cm	Heavy Standard: 5 brks: 3x: RB: Clear Stem 175-200cm	Counted
Total :4						

Shrubs						
Number	Common Name	Species	Height	Pot Size	Specification	Density
102	Common Maple	Acer campestre	40-60cm	3L	BR	4/m²
11	Mexican Orange Blossom 'Aztec Pearl'	Choisya 'Aztec Pearl'		3L	C :Bushy	3/m²
41	Mexican Orange Blossom	Choisya ternata		3L	C :Bushy	3/m²
102	Common Dogwood	Cornus sanguinea	40-60cm	3L	BR	4/m²
102	Common Hazel	Corylus avellana	40-60cm	3L	C	4/m²
102	Midland Hawthorn	Crataegus laevigata	40-60cm	3L	BR	4/m²
7	Japanese aralia	Fatsia japonica		3L	C :Bushy	3/m²
41	Shrubby Veronica 'Midsummer Beauty'	Hebe 'Midsummer Beauty'		3L	C :Bushy	3/m²
14	Common Myrtle	Myrtus communis		3L	C :Bushy	3/m²
14	False Holly	Osmanthus heterophyllus		3L	C :Bushy	3/m²
25		Philadelphus microphyllus		3L	C :Bushy	3/m²
57		Phormium 'Bronze Baby'		3L	C :7 leaves	4/m²
57	New Zealand Flax 'Yellow Wave'	Phormium 'Yellow Wave'		3L	C :7 leaves	4/m²
33	Skimmia	Skimmia japonica		3L	C :Bushy	3/m²
14	Viburnum	Viburnum davidii		3L	C :Bushy	3/m²
9	Big periwinkle	Vinca major		3L	C :Bushy	4/m²
Total :731						

Climbers					
Number	Common Name	Species	Pot Size	Specification	Density
29	Ivy 'Glacier'	Hedera helix 'Glacier'	3L	Several Shoots	4/m²
Total :29					

Bulbs					
Number	Common Name	Species	Bulb Size	Specification	Density
400	Bierberstein's Crocus	Crocus speciosus	5/6	Grade 5/6	30/m²
400	Tenby Daffodil	Narcissus obvallaris	6/8	Grade 8/10	30/m²
Total :800					

Grasses					
Number	Common Name	Species	Specification	Density	
52	Golden hakonechloa	Hakonechloa macra 'Alboaura'	Full Pot	4/m²	
25		Miscanthus sinensis 'Malepartus'	Full Pot	3/m²	
11		Miscanthus sinensis 'Morning Light'	Full Pot	3/m²	
Total :88					

Hedges					
Number	Common Name	Species	Height	Specification	Density
222	Common Hornbeam	Carpinus betulus	80-100cm	B: 1+2; Transplant - seed raised	0.3Cr
Total :222					

notes

If applicable, soils are to be handled in accordance with soil resource plan.

Easement facilities have prohibited tree planting in relevant areas.

Planting mixes include a range of planting heights, mature height of planting should be taken into account when positioning. Planting with a low mature height should be utilised in front of low windows.

For further guidance, refer to HSE Construction (Design and Management) Regulations 2015.

rev	by	chk	date	detail
C	JH	EB	02/09/20	Addition of rooting areas and planting below existing trees
B	EB	DL	26/05/20	Removal of 3 trees within communal garden area.
A	EB	DL	20/05/20	Amends following layout changes. Addition of communal garden area.

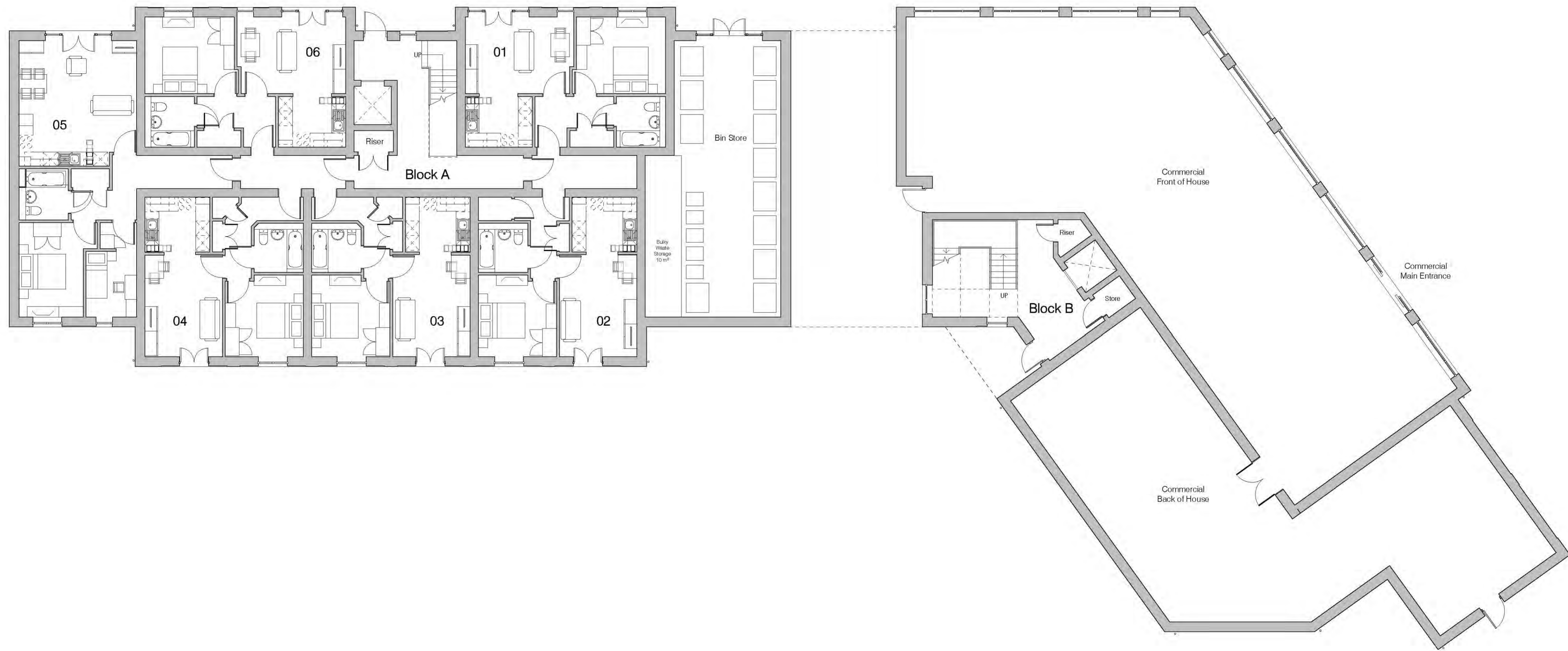
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edp6202_d001h
purpose of issue **PLANNING**

client
Wales & West Housing Association
Jehu Project Services
project title
Colchester Avenue, Cardiff

drawing title
Detailed Soft Landscape Plan

date **05 OCTOBER 2020** drawn by **JH**
drawing number **edp6202_d001h** checked **EB**
scale **1:200 @ A1** QA **PD**



P10	Bulky Waste Storage added.	HJ	DT	02.10.20
P9	Scale bar and north arrow added.	HJ	DT	15.07.20
P8	Issued for approval.	HJ	DT	22.05.20
P7	Issued for approval.	HJ	DT	14.05.20
P6	Balconies Added.	HJ	DT	13.03.20
P5	Updated commercial unit and schedule	HJ	DT	03.03.20
P4	Updated Floor plans and Schedule	HJ	DT	26.02.20
P3	Updated Plans and Elevations	MR	AWR	16.01.20
P2	Floor Plans Updated	MR	DT	27.09.19
P1	First Issue	MR	DT	23.09.19
Rev.	Description	Drawn	Check	Date

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info@pentan.co.uk

Project
Colchester Avenue Three Brewers
Client
Wales & West Housing Association

Drawing Title
Ground Floor

Job no. Orig. Zone Level Type Risk Description Status Rev
3830 - PEN - ZZ - 00 - DR - A - 1000 S4 P10

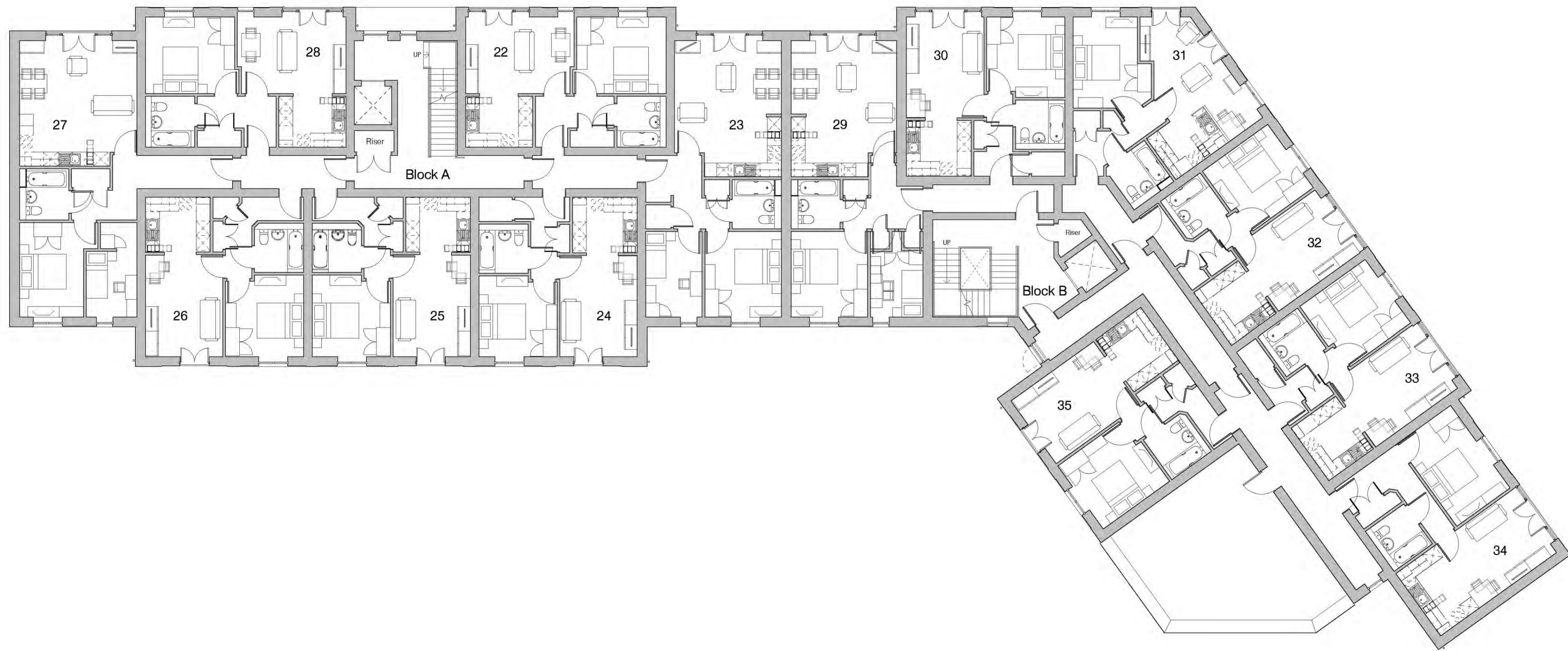
Scale
1 : 100 @ A1

Date
Sept' 20

NOTES Do not scale. All dimensions are in millimetres unless stated otherwise

 Proposed Ground Floor
1:100





P8	Issued for approval.	HJ	DT	22.05.20
P7	Issued for approval	HJ	DT	14.05.20
P6	Balconies Added.	HJ	DT	13.03.20
P5	Updated Floor plans and Elevations	HJ	DT	06.03.20
P4	Updated Floor plans and Schedule	HJ	DT	26.02.20
P3	Updated Plans and Elevations	MR	AWR	16.01.20
P2	Floor Plans Updated	MR	DT	27.09.19
P1	First Issue	MR	DT	23.09.19
Rev.	Description	Drawn	Check	Date

FOR APPROVAL

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Project
Colchester Avenue Three Brewers
Client
Wales & West Housing Association

Drawing Title
Second Floor

Job no. Orig. Zone Level Type Risk Description Status Rev
3830 - PEN - ZZ - 02 - DR - A - 1002 S4 P8

Scale
1 : 100 @ A1 Date
Mar' 20

NOTES Do not scale. All dimensions are in millimetres unless stated otherwise



Elevation A



Elevation B

Materials Key

Walls:
 Brick: Generally stock facing brickwork in stretcher bond with natural mortar.
 3 courses of soldier coursed bricks above window heads and where indicated.
 Recessed brick panels as indicated.

- Brick type 1: (TBC)
- Brick type 2: (TBC)
- Brick type 3: (TBC)

Sills: 65mm deep, through-coloured cast-stone sills with no stools.

Roofs:
 Flat Roof: (TBC)

Parapet: 65mm deep, stepped profile, through-coloured cast-stone.

Hoppers and Downpipes: Aluminium flush-joint circular downpipes and aluminium hoppers, Colour RAL (TBC). Downpipes to terminate in ground (not shoe to gully). All FRWP locations to be checked and approved by supplier.

Windows and Doors:
 Windows: uPVC units with fenestration patterns as indicated. All ironmongery & locking mechanisms to comply with PAS24 2:12/2016 & Secured-by-Design requirements. All glazing to be toughened/ laminated, Colour RAL (TBC).

Doors: uPVC units with fenestration patterns as indicated. All ironmongery & locking mechanisms to comply with PAS24 2:12/2016 & Secured-by-Design requirements. All glazing to be toughened/ laminated, Colour RAL (TBC).

Other:
 Service penetrations: Service extract terminals and flues are to be rectangular, flush and colour matched to surrounding brick. All locations are to be confirmed by M&E consultant, architect and approved by LPA.

Balustrades and rails: PPC galvanised steel. Colour RAL (TBC).

P7	Issued for approval.	HJ	DT	22.05.20
P6	Issued for approval	HJ	DT	14.05.20
P5	Balconies Added. Key Updated.	HJ	DT	13.03.20
P4	Updated Floor plans and Elevations	HJ	DT	06.03.20
P3	Updated Elevations	HJ	DT	02.03.20
P2	Updated Plans and Elevations	MR	AWR	16.01.20
P1	First Issue	MR	DT	27.09.19
Rev.	Description	Drawn	Check	Date

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Project:
 Colchester Avenue Three Brewers

Client:
 Wales & West Housing Association

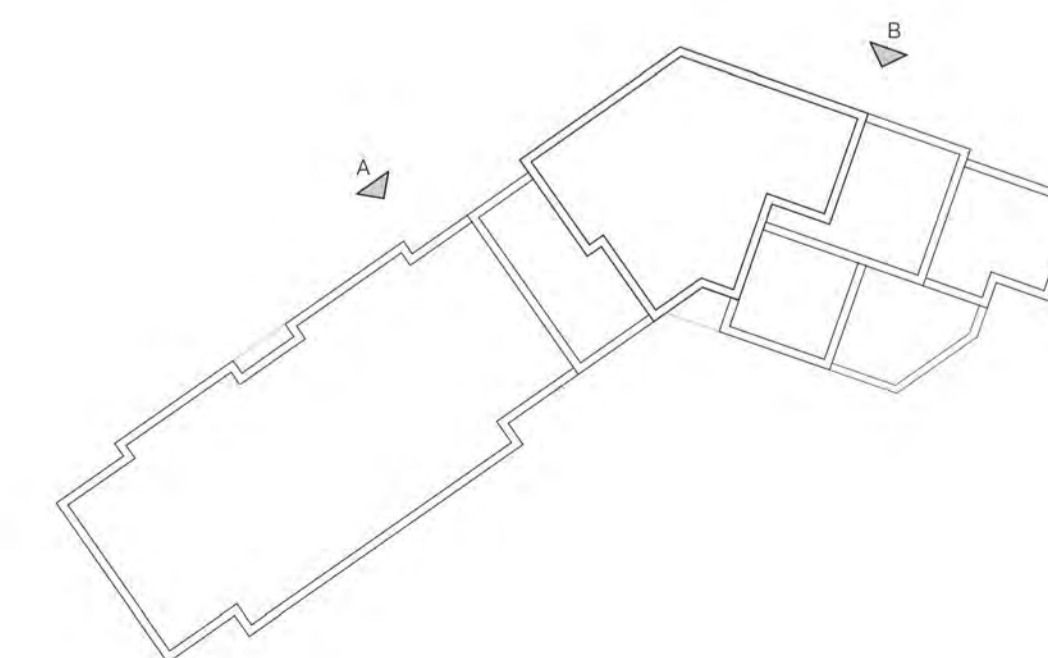
Drawing Title

Elevations A & B

Job no.	Org.	Zone	Level	Type	Role	Description	Status	Rev
3830	PEN	ZZ	ZZ	DR	A	2000	S4	P7

Scale: As indicated @ A1 Date: Mar '19

NOTES: Do not scale. All dimensions are in millimetres unless stated otherwise.





Elevation C



Elevation D

Materials Key

Walls:
 Brick: Generally stock facing brickwork in stretcher bond with natural mortar. 3 courses of soldier coursed bricks above window heads and where indicated. Recessed brick panels as indicated.

- Brick type 1. (TBC)
- Brick type 2. (TBC)
- Brick type 3. (TBC)

Sills: 65mm deep, through-coloured cast-stone sills with no stools.

Roofs:
 Flat Roof: (TBC)

Parapet: 65mm deep, stepped profile, through-coloured cast-stone.

Hoppers and Downpipes: Aluminium flush-joint circular downpipes and aluminium hoppers. Colour RAL (TBC). Downpipes to terminate in ground (not shoe to gully). All RWP locations to be checked and approved by supplier.

Windows and Doors:
 Windows: uPVC units with fenestration patterns as indicated. All ironmongery & locking mechanisms to comply with PAS24 2-12/2016 & Secured-by-Design requirements. All glazing to be toughened/ laminated. Colour RAL (TBC).

Doors: uPVC units with fenestration patterns as indicated. All ironmongery & locking mechanisms to comply with PAS24 2-12/2016 & Secured-by-Design requirements. All glazing to be toughened/ laminated. Colour RAL (TBC).

Other:
 Service penetrations: Service extract terminals and flues are to be rectangular, flush and colour matched to surrounding brick. All locations are to be confirmed by M&E consultant, architect and approved by LPA.

Balustrades and rails: PPC galvanised steel. Colour RAL (TBC).

P4	Issued for approval.	HJ	DT	22.05.20
P3	Issued for approval	HJ	DT	14.05.20
P2	Balconies Added. Key Updated.	HJ	DT	13.03.20
P1	First Issue	HJ	DT	06.03.20
Rev.	Description	Drawn	Check	Date

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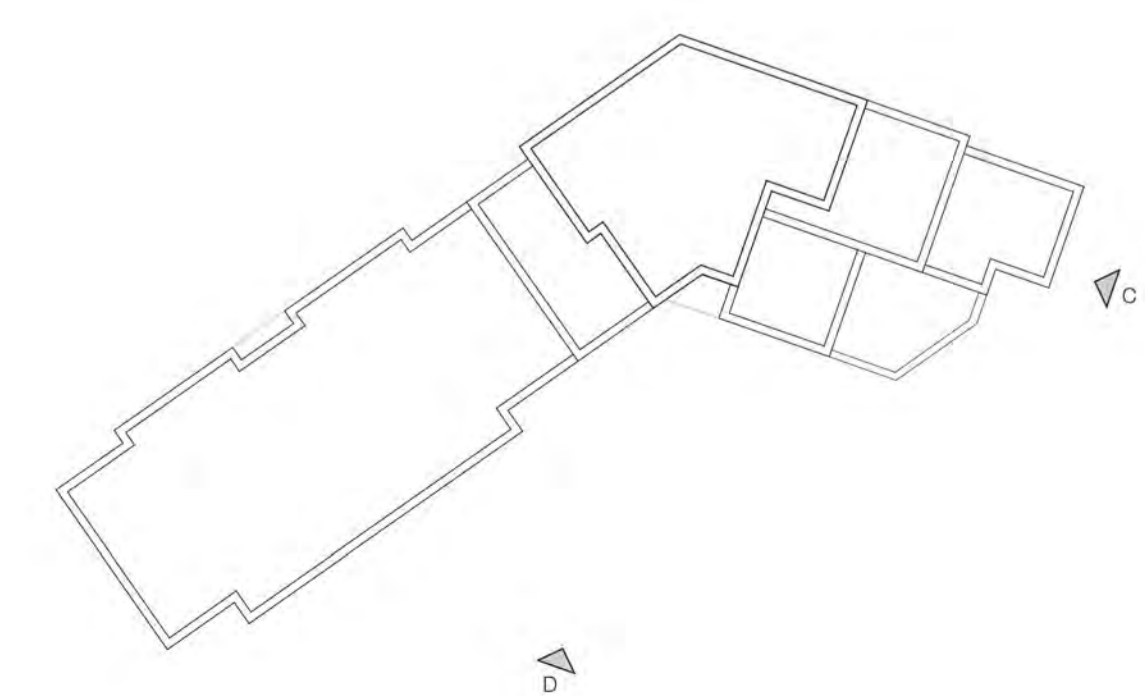
Project:
Colchester Avenue Three Brewers
 Client:
Wales & West Housing Association

Drawing Title:
Elevations C & D

Job no.	Org.	Zone	Level	Type	Role	Description	Status	Rev
3830	PEN	ZZ	ZZ	DR	A	2001	S4	P4

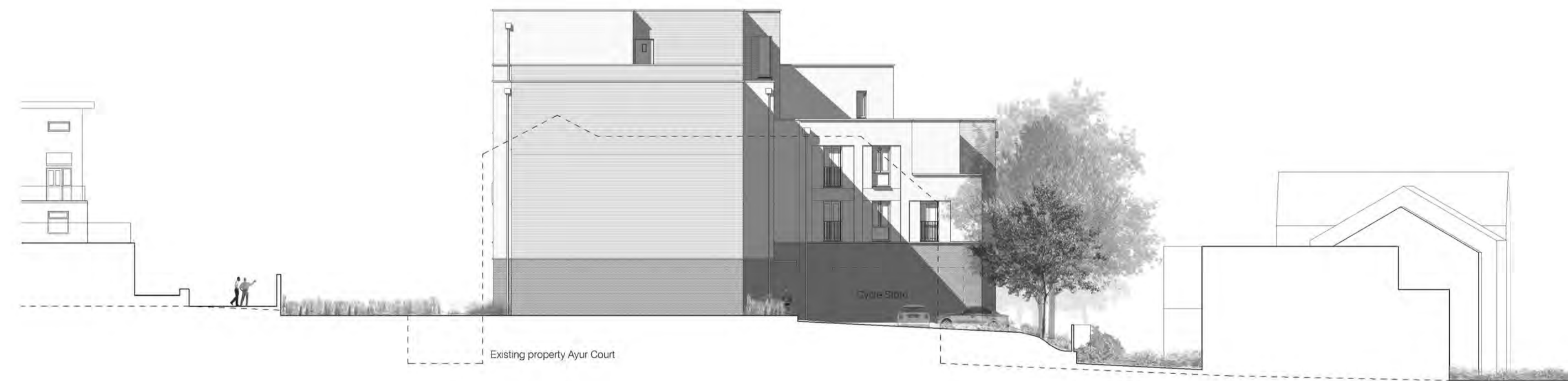
Scale:
As indicated @ A1
 Date:
Mar'20

NOTES: Do not scale. All dimensions are in millimetres unless stated otherwise.





Elevation E



Elevation F

Materials Key

Walls:
 Brick: Generally stock facing brickwork in stretcher bond with natural mortar.
 3 courses of soldier coursed bricks above window heads and where indicated.
 Recessed brick panels as indicated.

- █ Brick type 1: (TBC)
- █ Brick type 2: (TBC)
- █ Brick type 3: (TBC)

Sills: 65mm deep, through-coloured cast-stone sills with no stools.

Roofs:
 Flat Roof: (TBC)

Parapet: 65mm deep, stepped profile, through-coloured cast-stone.

Hoppers and Downpipes: Aluminium flush-joint circular downpipes and aluminium hoppers. Colour RAL (TBC). Downpipes to terminate in ground (not shoe to gully). All RWP locations to be checked and approved by supplier.

Windows and Doors:
 Windows: uPVC units with fenestration patterns as indicated. All ironmongery & locking mechanisms to comply with PAS24 2:12/2016 & Secured-by-Design requirements. All glazing to be toughened/ laminated. Colour RAL (TBC).

Doors: uPVC units with fenestration patterns as indicated. All ironmongery & locking mechanisms to comply with PAS24 2:12/2016 & Secured-by-Design requirements. All glazing to be toughened/ laminated. Colour RAL (TBC).

Other:
 Service penetrations: Service extract terminals and flues are to be rectangular, flush and colour matched to surrounding brick. All locations are to be confirmed by M&E consultant, architect and approved by LPA.

Balustrades and rails: PPC galvanised steel. Colour RAL (TBC).

P4	Issued for approval.	HJ	DT	22.05.20
P3	Issued for approval	HJ	DT	14.05.20
P2	Balconies Added. Key Updated.	HJ	DT	13.03.20
P1	First Issue	HJ	DT	06.03.20
Rev.	Description	Drawn	Check	Date

FOR APPROVAL

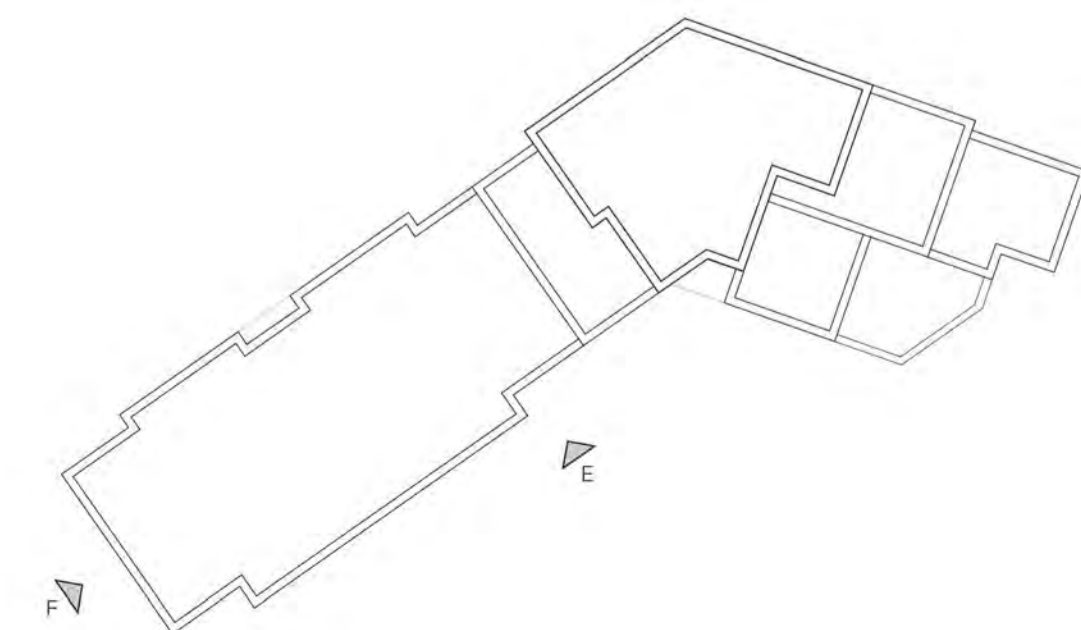
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Project:
Colchester Avenue Three Brewers
 Client:
Wales & West Housing Association
 Drawing Title:

Elevations E & F

Job no.	Org.	Zone	Level	Type	Role	Description	Status	Rev
3830	PEN	ZZ	ZZ	DR	A	2002	S4	P4
Scale								Date
As indicated @ A1								Mar'20

NOTES: Do not scale. All dimensions are in millimetres unless stated otherwise.





P2	Issued for approval.	HJ	DT	22.05.20
P1	Issued for approval.	HJ	DR	17.03.20
Rev.	Description	Drawn	Check	Date

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Project
Colchester Avenue Three Brewers

Client
Wales & West Housing Association

Drawing Title

Artist's Impression

Job no.	Org.	Zone	Level	Type	Role	Description	Status	Rev.
3830	PEN	ZZ	ZZ	DR	A	6000	S4	P2
Scale								Date
@ NTS								Mar '20

NOTES Do not scale. All dimensions are in millimetres unless stated otherwise

PETITION & WARD MEMBER OBJECTION

COMMITTEE DATE: 14/10/2020

APPLICATION No. **20/01545/MNR** APPLICATION DATE: 06/08/2020ED: **SPLOTT**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Qureshi

LOCATION: 171 RAILWAY STREET, SPLOTT, CARDIFF, CF24 2NB

PROPOSAL: CONVERSION OF PROPERTY TO FORM TWO
SELF-CONTAINED FLATS

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 - A100 Revision B

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Prior to the beneficial use of the property as 2 self-contained flats 4 secured cycle parking spaces, as indicated on the approved plan, shall be provided within the curtilage of the property and shall thereafter be retained and maintained for as long as the use hereby approved remains in existence.

Reason: To ensure that secure cycle parking facilities are provided to encourage other modes of transport over the private car.

4. Prior to the beneficial use of the property as 2 self-contained flats the refuse storage areas, as indicated on the approved plan, shall be provided within the curtilage of the property. The refuse storage areas shall thereafter be retained and maintained at all times for as long as the use hereby approved remains in existence.

Reason: To secure an orderly form of development and to protect the amenities of the area in accordance with Policy W2 of the Cardiff Local Development Plan 2006-2026.

RECOMMENDATION 2: Please be advised that since 27th July 2015, the developers of all new residential units are required to purchase the bin

provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting C2C on 02920872087. Each flat will require the following for recycling and waste collections:

- Bespoke bags equivalent to 140 litre bin for general waste
- 1 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 140 litres)

The storage of which must be sensitively integrated into the design.

The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Please refer to the Waste Collection and Storage Facilities Supplementary Planning Guidance (2016) for further relevant information.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 Planning permission is sought for the conversion of a property to two flats. A one bedroom flat on the ground floor and a two bedroom flat on the first and second floors.
- 1.2 No extensions are proposed as part of the application. External alterations including the replacement of windows and doors to the ground floor annexe are proposed.
- 1.3 Internally, the accommodation would comprise of the following;
 - **Flat 1** would be located on the ground floor and would have an approximate floor area of 45 square metres. The accommodation would comprise of a washroom, bedroom, and lounge/kitchen. Direct access onto a private amenity garden area of approximately 54 square metres at the rear of the property is provided that also includes the cycle and bin storage areas.
 - **Flat 2** would be located in on the first and second floors with access from the ground floor and would have a floor area of approximately 72 square metres. The flat would comprise of a lounge, bedroom, washroom and kitchen on the first floor and a bedroom and WC on the second floor. Cycle and waste storage is provided and located on the ground floor at the entrance of the property.
- 1.4 It should be noted that amendments have been received to address issues with outlook for the ground floor flat and the location of waste and cycle storage.

2. **DESCRIPTION OF SITE**

- 2.1 The application site comprises of a mid-terraced dwelling house within a row featuring similar house types that are characteristic throughout the immediate area.
- 2.2 The site is in the Splott area of Cardiff and is not in a conservation area nor is it sited in a flood zone.

3. **SITE HISTORY**

None.

4. **POLICY FRAMEWORK**

National Planning Policy

- Planning Policy Wales (10th Ed, 2018)
- Technical Advice Note 11: Noise
- Technical Advice Note 12: Design

Cardiff Local Development Plan 2006-2026 (2016)

- Policy KP5 (Good Quality and Sustainable Design)
- Policy KP8 (Sustainable Transport)
- Policy KP12 (Waste)
- Policy KP13 (Responding to Evidenced Social Needs)
- Policy H5 (Sub-Division or Conversion of Residential Properties)
- Policy T1 (Walking and Cycling)
- Policy T5 (Managing Transport Impacts)
- Policy T6 (Impact on Transport Networks and Services)
- Policy W2 (Provision for Waste Management Facilities in Development)

Supplementary Planning Guidance

- Flat Conversion (2018)
- Managing Transport Impacts (2018)
- Planning Obligations (2017)
- Waste Collection and Storage Facilities (2016)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 The Operational Manager (Transportation) has been consulted. No representations have been received to date but will be reported to the Planning Committee if received prior to the meeting.
- 5.2 The Operational Manager (Waste Management) advises the storage area for waste and recycling is acceptable, general advice in respect of waste management has been provided.

6. **REPRESENTATIONS**

6.1 Neighbours have been notified. Objections have been received from 112, 116, 118 and 169 Railway Street. They are summarised below:

- 112 Railway Street object to the application due to the number of flat conversions already in the locality and the existing parking issues within the street.
- 116 Railway Street object to the application for the following reasons;
 - Number of flat conversions already in street
 - Existing issues with parking
 - Drainage issues
 - Waste management
 - The conversion started before submission of planning application
 - Lack of health and safety on site
- 118 Railway Street object to the application for the following reasons;
 - Health and safety at property
 - Poor workmanship
 - Number of flats that already exist in the street
 - Concerns for parking
- 169 Railway Street object to the application for the following reasons;
 - Building works carried out at property
 - Damage to property
 - Lack of health and safety measures at the site
 - Number of flats that already exist in the street

6.2 Representations have been received from the Local Ward Member for Splott, Leader of the Council Huw Thomas. Cllr Thomas objects to the application for the following reasons;

‘On behalf of my constituents who live in the surrounding properties, I would like to object to the planning application for 171, Railway St, reference 20/01545/MNR.

Residents are rightly and understandably concerned about the impact this development will have on the local area, not least because in their views and mine the application does not comply with local planning policy, as contained in Cardiff’s LDP 2006-2026.

Specifically

- section H5i of the LDP states that a conversion to a HMO will be permitted if “The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.” In this instance, we do not believe the proposals that an adequate standard of residential amenity is achieved due to a) no external amenity space afforded to the first floor flat and

*b) waste storage space within the dwelling, which is both a fire and hygiene risk in the event of waste not being stored correctly. This also runs contrary to the Supplementary Planning Guidance on Waste Collection and Storage Facilities, chapter 4.3 which states “All residential developments are required to provide adequate storage for 4 dedicated waste streams; recycling, garden, food and residual waste. Provision must be made for the total volume of all waste streams produced over a 14-day period. This storage **must be separate from the dwelling it serves. It is not acceptable for waste to be stored for a long period of time within the dwelling**”.*

- section H5ii of the LDP states that a conversion to a HMO will be permitted if “There would be no material harm to the amenity of existing, nearby residents by virtue of general disturbance, noise or overlooking.” In this instance, we believe that positioning a kitchen and living room on the first floor, and the inevitable noise arising from activities in these areas will have a material impact in terms of noise disturbance on the properties either side of the dwelling (whose bedrooms are on the first floor).

- section H5iii and H5iv of the LDP states that a conversion to a HMO will be permitted if “The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area” and “does not have an adverse effect on local parking provision.” In this instance, there is already a high density of flat conversions in the area. Within approximately 50 yds of 171 Railway St, there are 13 houses that have been converted into flats (numbers 108, 114, 120-HMO, 124, 126, 128, 151, 153, 155, 175, 179, 185, 187 Railway St). A number of these properties already generate regular issues in terms of incorrect waste presentation. There local parking provision is also under intense pressure, clearly demonstrating the cumulative impact that flat conversions in the area have already had, giving clear grounds to reject this application.

Furthermore, paragraph 5.19 of the LDP states “The Council requires all flat conversions and HMOs to be of a high quality and to be well designed”. As evidenced by other Objections to this application, the work carried out on the property thus far has fallen well short of the high quality the LDP demands. In fact, officers from Building Control and Shared Regulatory Services have had to attend the property on multiple occasions. I would like to request a site visit so that members of the Committee can see for themselves the level of quality associated with the property, as well as the other issues highlighted above.

As mentioned, there is a considerable number of flat conversions in the immediate area, and local residents are extremely concerned about the cumulative impact of a further conversion. They have organised a petition (gathered with due regard to hygiene and social distancing) from virtually all the properties in the immediate vicinity.’

- 6.3 A 46-signature petition objecting to the application has been submitted to the Council. The petition opposes the existing high density of HMOs in the area; impact on the amenity of the area, including car parking availability; proposed waste storage arrangements; and building control concerns.

7 **ANALYSIS**

7.1.1 The application site lies within the defined settlement boundary in an existing residential area. Policy KP13 details *that 'a key part of the successful progression of the city will be to develop sustainable neighbourhoods'* and defines that *'providing a range of dwelling sizes, types and affordability'* is a key factor in achieving such an aim. Policy H5 is a permissive policy which supports the sub-division of residential properties subject to other material considerations. The application site is located in a built up area served by necessary infrastructure and constitutes a sustainable neighbourhood. Accordingly, the principle of the proposed development is considered acceptable.

7.1.2 The principal matters for consideration are:

- the effect of the proposal upon the character of the area;
- the effect of the proposal upon the amenity of neighbouring occupiers and the area;
- the level of amenity provided for future occupiers;
- the transport impact.

Impact Upon the Character of the Area

7.2.1 Policy KP5 requires that all proposed development is of a high quality and sustainable design which responds *'to the local character and context of the build and landscape setting so that layout, scale, form, massing, height, density, colour, materials, detailing, and impact upon the built and natural heritage are all addressed within development proposals'*.

7.2.2 It is considered that the proposal would accord with the principles of Policy KP5.

Impact Upon the Amenity of Neighbouring Occupiers and the Area

7.3.1 Policy KP5 seeks to ensure that *'no undue effect on the amenity of neighbouring occupiers'* results from development which is supported by Policy H5.

7.3.2 The property would remain residential in nature and matters of noise and disturbance are not inherent of flat use. If used reasonably the proposed properties are unlikely to result in any detrimental noise or disturbance. Other controls exist in respect of unacceptable noise from residential properties.

7.3.3 It is considered that the proposal would not have an adverse effect upon the amenity of neighbouring occupiers and would accord with Policies KP5 and H5.

Amenity of Future Occupiers

7.4.1 Policy H5 states that proposals for the conversion to flats will be permitted where *'the property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an*

adequate standard of residential amenity for future occupiers’.

- 7.4.2 The proposal would result in the provision of adequate sized units, the two flats have an acceptable layout and outlook and it is considered that the level of internal accommodation would be acceptable.
- 7.4.3 Paragraph 4.4.2 of the Councils Flat Conversions Supplementary Planning Guidance (March 2019) identifies that the Ground floor (or roof terrace) amenity space for flat conversions is different to amenity space for C3 dwellings or for HMOs, as it is less likely that upper floor residents would have direct access to any ground floor amenity space in converted flats. The council would favour developments that make every effort to provide access to external amenity space to as many dwellings as possible within the converted building. However, it is recognised that this may not always be viable, or desirable, and that a range of flats, some with sole access to amenity space, some with shared access and some with no access, is a matter for individual residents in choosing where to live. Amongst other considerations, a family dwelling on the ground floor with sole access to the amenity space can on balance be more beneficial than the same space being *accessed* by all flats within the building.
- 7.4.4 Accordingly it is considered that the proposed development would provide an adequate standard of amenity for future occupiers and would accord with the principles of Policies KP5, H5 and EN13.

Transport Impact

- 7.5.1 Policy KP8 seeks to achieve a 50:50 modal split between the car and sustainable journeys through reducing reliance on the car as a mode of transport. Policy T1 promotes walking and cycling. Whilst Policy H5 seeks to ensure that such conversions do not have an adverse effect on local parking provision. Generally, Policies T5 and T6 add further support to the aforementioned policies.
- 7.5.2 The Managing Transportation Impacts (Incorporating Parking Standards) SPG identifies a minimum requirement of zero car parking spaces to discourage the use of the private car as a mode of transport in favour of more sustainable options. The proposal is, therefore, considered policy compliant with the maximum off street parking spaces not being exceeded.
- 7.5.3 The application site is located within a sustainable location in close proximity to local facilities and public transport links and cycle parking spaces are proposed to encourage this sustainable mode of transport. A Shedstore Forest double door bike shed is proposed to the rear of the property for flat one. Two vertical bike racks are proposed for flat two, consideration is given to the user of these stands and that they will be living in a first floor flat. The proposed cycle storage provided is considered acceptable.
- 7.5.4 Accordingly, it is considered that the proposal could accord with the principles of Policies KP8, T1, T5 and T6.

Waste

7.6.1 The separate waste storage areas for both flats are considered acceptable. In respect of waste storage facilities, each flat will require the following for recycling and waste collections:

- Bespoke bags equivalent to 140 litre bin for general waste
- 1 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 140 litres)

Details have been submitted which are considered acceptable and condition 4 has therefore been included to ensure such provision is provided. If it is found that the waste is not being stored or presented correctly and subsequently causing anti-social issues this would be a matter for Waste Enforcement to action.

Other Matters

7.7.1 A rebuttal from Varco Consultants Ltd was submitted on behalf on the applicant in response to representations. The letter also outlines relevant policy and considers the proposal to be policy compliant. A summary is set out below:

Flat Conversions SPG (adopted March 2019)

The introductory and opening paragraphs indicates that the Welsh Government supports the use of SPG's to set out detailed guidance in the way in which local development plan planning policies will be applied.

Section 2.1.2 provides further guidance on planning policy context and in turn quotes paragraph 3.1.4 of Planning Policy Wales (Edt 9, 2016)

"Factors to be taken into account in making planning decisions (material considerations) must be planning matters; that is, they must be relevant to the regulation of the development and use of land in the public interest, towards the goal of sustainability. The planning system does not exist to protect the private interests of one person against the activities of another".

Under Section 3 which relates to minimum internal space standards in the design of flats, the table contained states the following standards are expected- 1 bedroom unit having a minimum gross internal area (GIA) of 30m², with a 2 bedroom unit at minimum 45m² gia. The drawings accompanying this application demonstrate that the scheme subject to scrutiny by the LPA exceed the minimum standards set above.

Section 4.2 of the SPG provides further guidance on room sizes and facilities, though notes that the council would not seek to be prescriptive in terms of individual room sizes, and merely requires that best practice be adopted. The plans accompanying this application would appear to satisfy all set criteria's of best practice design in so far as concerns internal space standards and facility provisions.

Section 4.3 refers to waste considerations in the design of flats, with p.4.3.2 making reference to the Waste Collection and Storage Facilities SPG (Oct 16) which indicates the following;

For houses converted into flats, the preferred option is for individual bin allocation managed by each flat with each flat allocated;

140L for General Waste

25L Kerbside caddy for food waste Green bags for recycling.

The above standards are considered to have been met in the proposed design scheme, with no prohibitions noted for the application of internal refuse storage to serve the first floor apartment, in this instance. The waste provisions are split between the communal lobby to serve unit 2 (not within a 'dwelling'), with unit 1 externally located.

Section 4.4 relates to amenity space provisions in flat designs. Section 4.4.2 quotes;

"Ground floor (or roof terrace) amenity space for flat conversions is different to amenity space for C3 Dwellings or for HMOs, as it is less likely that upper floor residents would have direct access to any ground floor amenity space in converted flats. The council would favour developments that make every effort to provide access to external amenity space to as many dwellings as possible within the converted building. However, it is recognised that this may not always be viable, or desirable, and that a range of flats, some with sole access to amenity space, some with shared access and some with no access, is a matter for individual residents in choosing whether to live."

There are a number of planning applications determined by the council with upper floor flats with no access to amenity space. Notwithstanding this, we would respectfully note that the current scheme appears to comply with guidance of the SPG evidenced above in our considered opinion.

Section 4.5 refers to parking provisions. Paragraph 4.5.2 refers to 'Managing Transport Impacts and Parking Standards SPG (2018)' and emphasises that minimum provisions are no longer sought for car parking spaces, and no maximum for cycle parking as the councils endeavours to promote sustainable means of transport. This section of the document reiterates the importance of providing secure and sheltered cycle provisions, and to this end, suitable provisions are deemed to have been provided in the scheme.

Section 4.6 refers to Noise, light and Outlook and suggests that consideration should be given to noise nuisance, light and outlook in the design of all flats. Whilst it could be argued that a number of planning applications have been determined by the council since adoption of this SPG with similar room allocation provisions on first floor, and in addition, mindful of the fact that there being no enforceable right to prohibit any upper floors being used as living rooms and kitchens to existing C3 premises; Section 4.6.2 acknowledges that specific details of sound insulation are not dealt with under planning legislation, though instead the Building Regulations 2010 (as amended).

All habitable rooms are considered to have ventilation and reasonable outlook and are therefore considered to satisfy the criteria's of the SPG. All other technical and safety concerns raised are subject and enforceable under separate legislation governed by the CDM Regulations and The Building

Regulations etc. As such, we would respectfully note that the scheme would appear to satisfy the criteria of noise, outlook and light, as set by the SPG

Section 4.7 relates to Access and promotes access direct from the street. This has been accommodated.

On the matters of density of flat conversions, we would respectfully note that there is nothing, in policy terms, that prohibits the conversion and number of flats within a defined radial distance or places requirements on cumulative impact for flat conversions. We feel the application, in conjunction with this letter, adequately demonstrates that all the pertinent material planning considerations for an application of this nature have been satisfied. I also note email communication between Mr Bannister and the applicant circa July 2020 following a complaint of work commencement (your ref SJB/E20/110), in which the applicant advised that the dormer and single storey rear extensions were developments exercising permitted development rights afforded to them as a householder. There were no intentions at the time to convert the property into flats; a matter which is the subject of this application for which the applicant is seeking consent.

Finally, matters of working hours are enforceable under separate legislation i.e. Control of Pollution Act 1974, though we have reiterated the requirements of the Act for reference to the applicant.

7.7.2 In respect of the objection submitted by the Local Member opposing the development the following should be noted:

1. Negative Impact on the Community – Issues such as impact of the amenity of the area, car parking and waste storage are covered in paragraphs 7.3.2, 7.5.2 and 7.6.1 of this report.
2. No amenity space for first floor flat – This issue is covered in paragraph 7.4.3 of this report.
3. Additional noise and vibrations associated with kitchens adjacent to adjoining property bedrooms – This is a matter that would be covered under Building Regulations and Shared Regulatory Services (Pollution Control) if a statutory nuisance is witnessed.
4. Cumulative Impact of the development – The Flat Conversion SPG, does not have a threshold for the conversion of residential properties into flats. The proposed use will still fall into Use Class C3 and will provide for much needed accommodation to help the Council meet its housing needs.
5. Building work carried out at the property – The quality of the building work would be a matter for Building Control to deal with and the appropriate officers have been made aware.
6. Layout of the flats – It is considered that the layout of the flats are well designed and the outlook from all habitable windows is satisfactory. This is also covered in paragraph 7.4.2 of this report.

7.7.3 In respect of the objections and petitions submitted opposing the development the following should be noted:

1. The local planning authority were made aware of building works at the property in June of this year. The matter was investigated by planning enforcement. At that point in time, as the property was used as a dwelling house, the works were considered to benefit from permitted development.
2. The health and safety concerns may be addressed under separate legislation via the health and safety executive and would not be a matter for planning control.
3. The standard of the building work carried out is assessed under separate legislation and is being considered by the Councils Building Control department.
4. The damage to the property of 169 Railway Street caused by the building works would be a civil matter between the owner/occupier and the applicant.

7.7.4 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

7.7.5 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

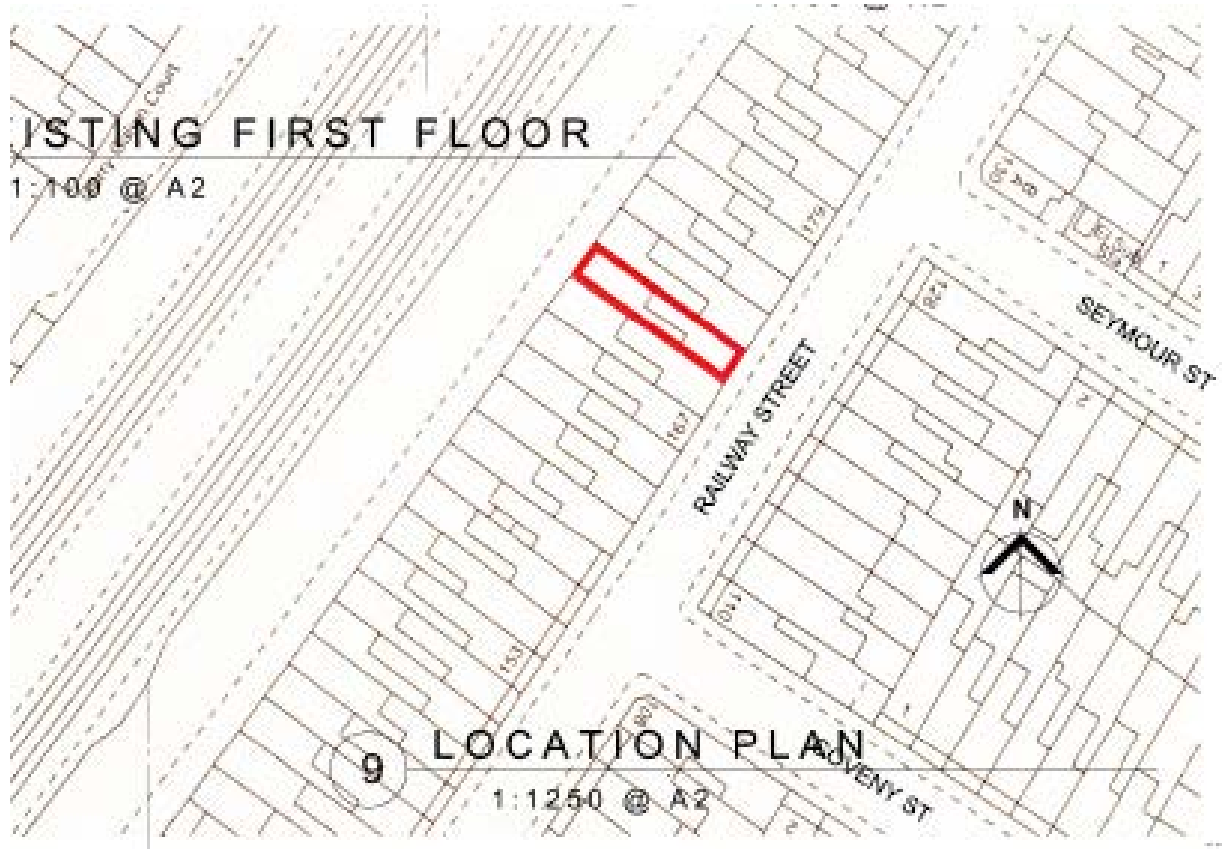
7.7.6 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

8. **CONCLUSION**

8.1 Having regard to the policy context above, the proposal is considered acceptable and it is recommended that planning permission be granted.

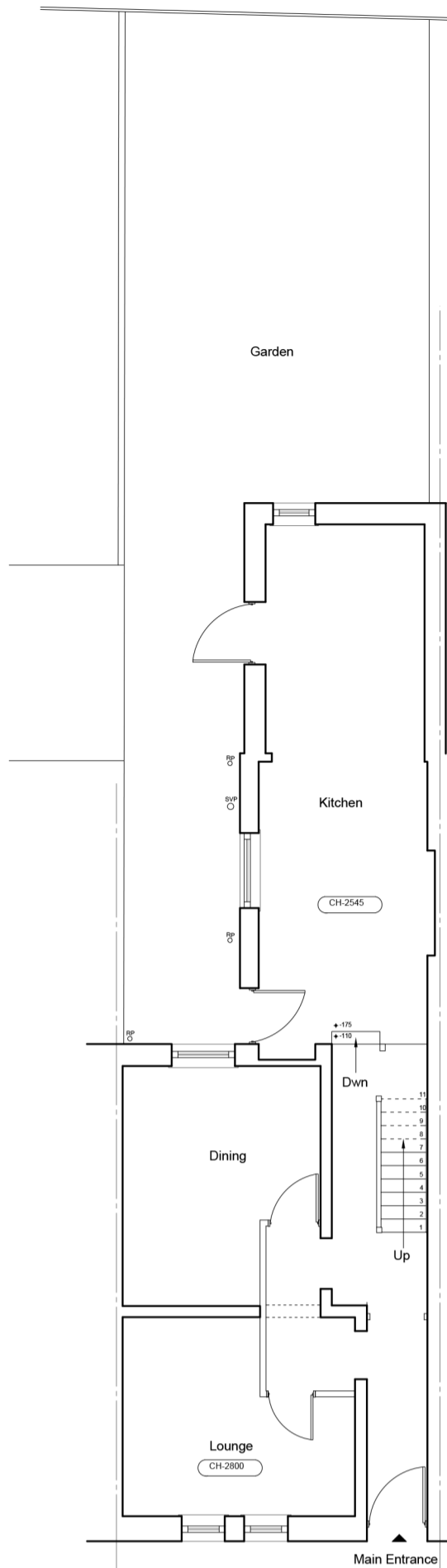
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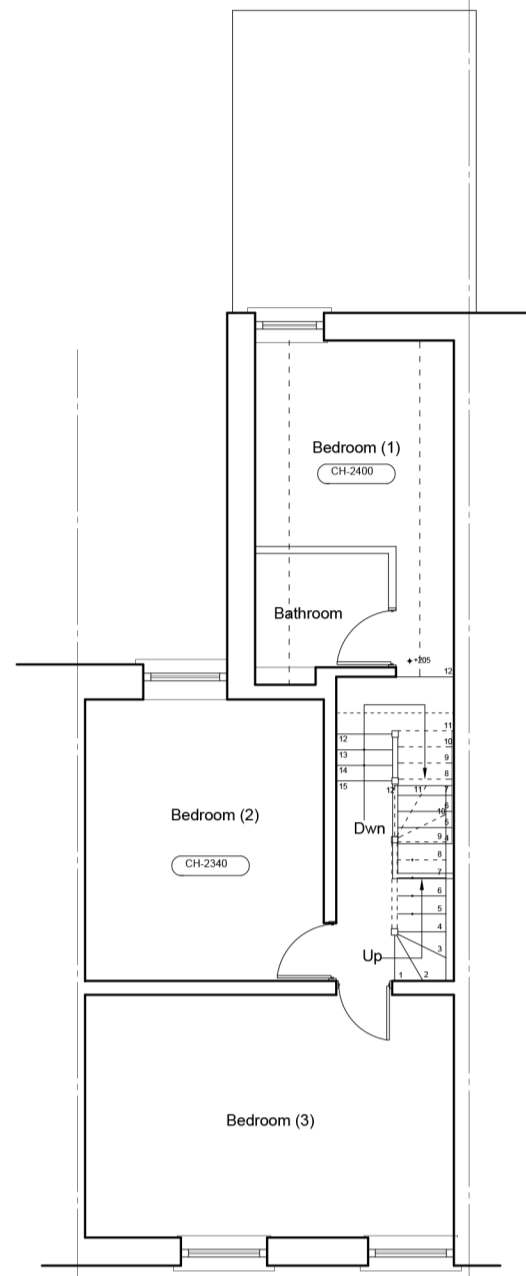


9 LOCATION PLAN

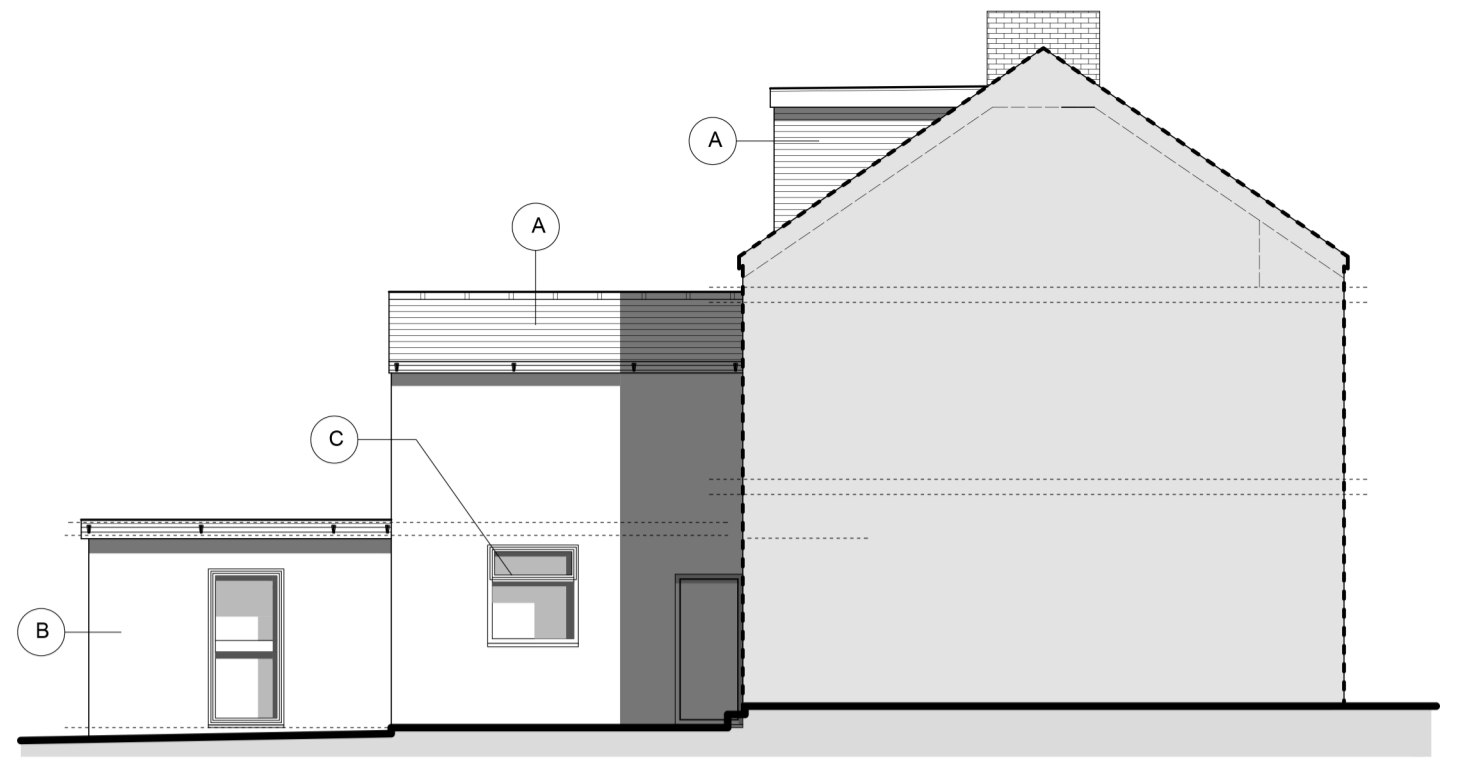
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2 EXISTING GROUND FLOOR
1:100 @ A2



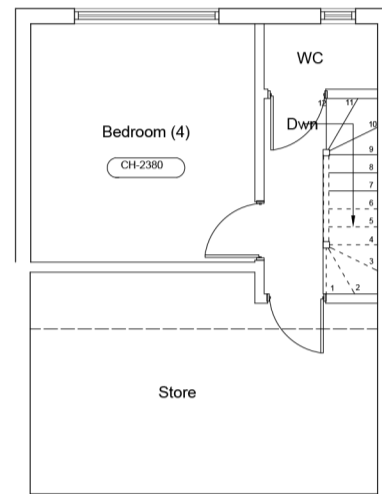
3 EXISTING FIRST FLOOR
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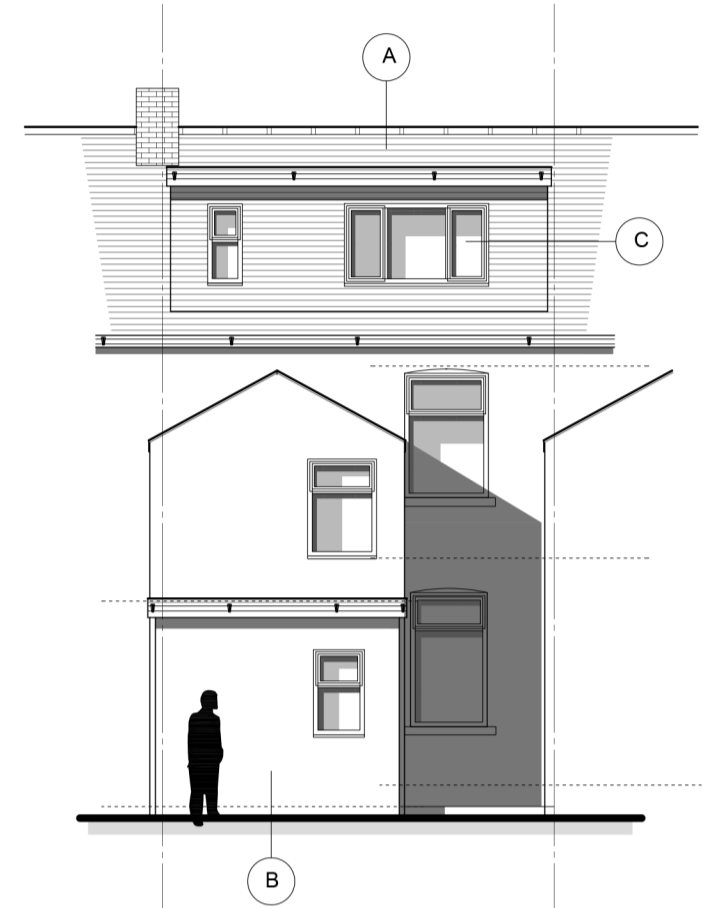
1 EXISTING SIDE ELEVATION
1:100 @ A2

Existing Material Specification

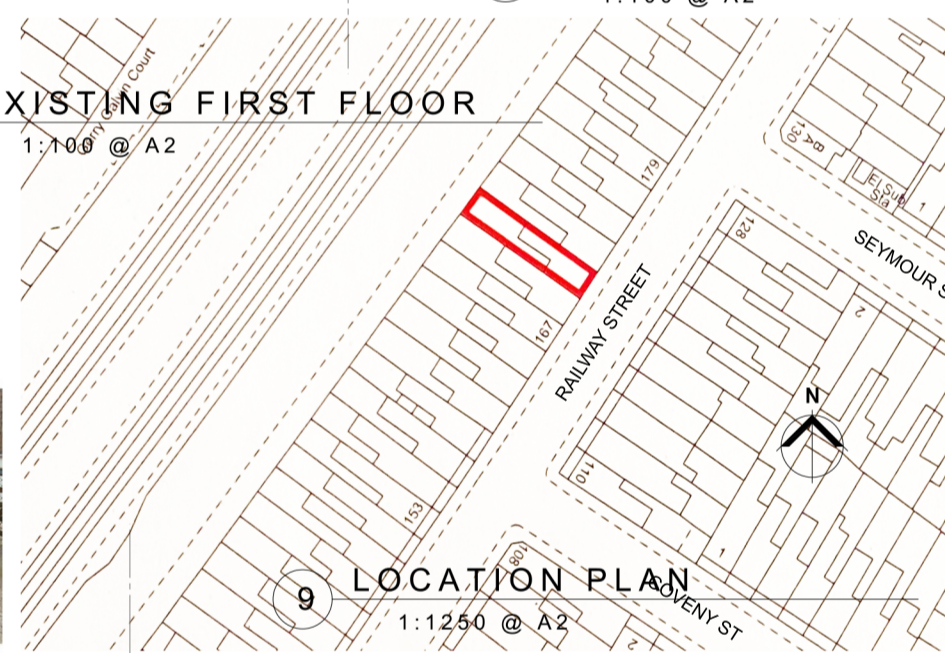
- (a) Synthetic Slate
- (b) Render
- (c) UPVC fenestration
- (d) PVC fascia and RWG's



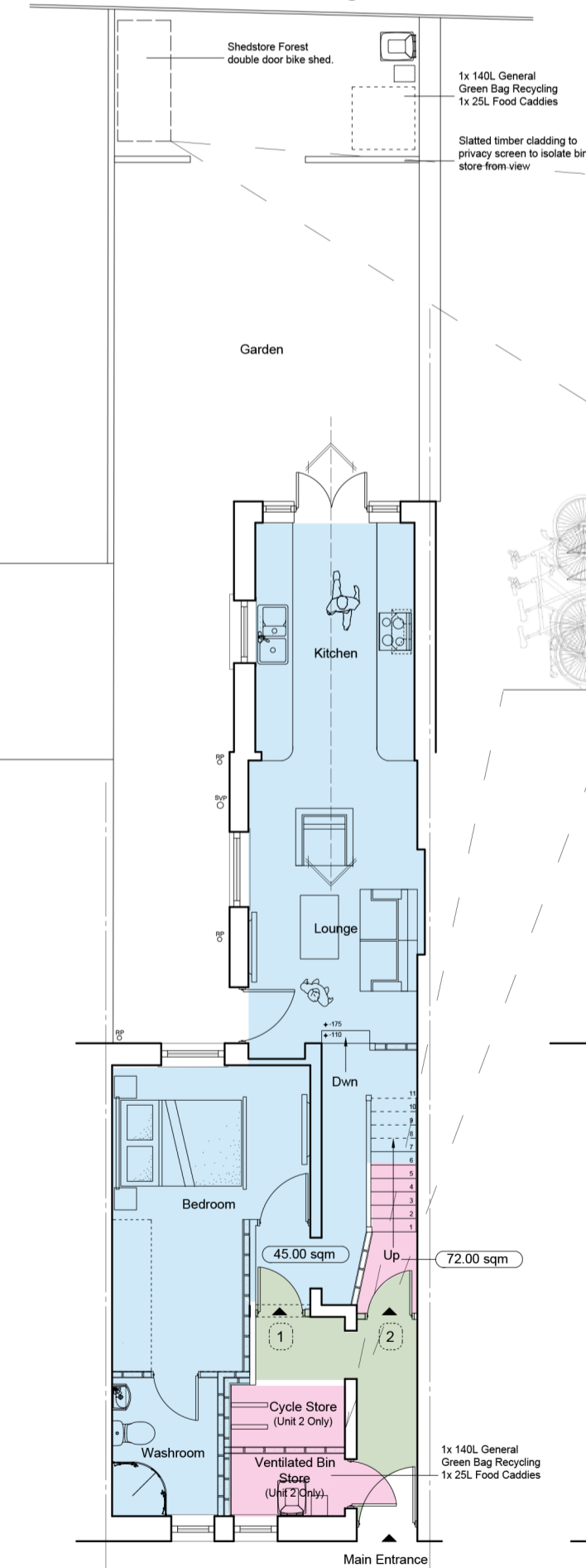
4 EXISTING SECOND FLOOR
1:100 @ A2



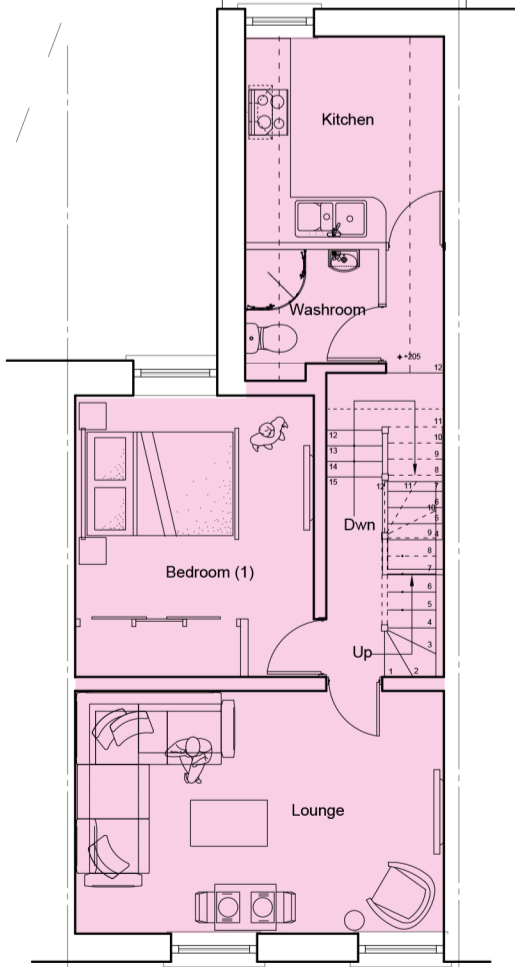
5 EXISTING REAR ELEVATION
1:100 @ A2



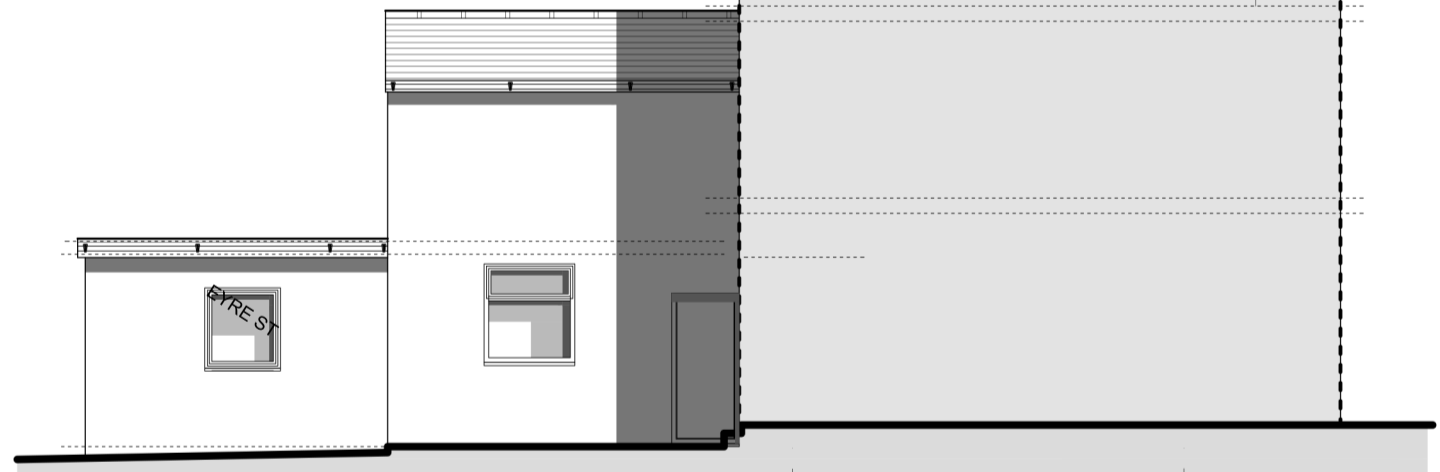
9 LOCATION PLAN
1:1250 @ A2



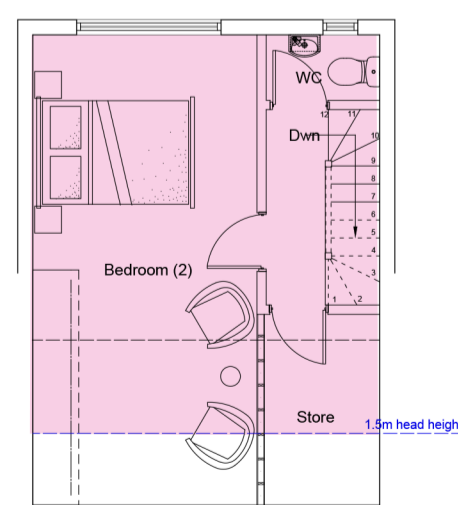
6 PROPOSED GROUND FLOOR
1:100 @ A2



7 PROPOSED FIRST FLOOR
1:100 @ A2



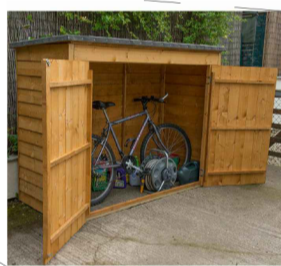
9 PROPOSED SIDE ELEVATION
1:100 @ A2



8 PROPOSED SECOND FLOOR
1:100 @ A2



8 PROPOSED REAR
1:100 @ A2



- Shedstore Forest double door bike shed.
- 1x 140L General Green Bag Recycling
- 1x 25L Food Caddies
- Slatted timber cladding to privacy screen to isolate bin store from view

CLIENT
MR I. QURESHI ESQ.

PROJECT
171 RAILWAY STREET, CARDIFF, CF24 2NG

DRAWING TITLE
EXISTING AND PROPOSED PLANS AND ELEVATIONS

PROJECT NO.
1790

DRAWING STATUS
 CLIENT APPROVAL
 PLANNING
 BUILDING CONTROL
 TENDER
 CONSTRUCTION

DRAWN/CHECKED
BILAL VARMA / AV

SCALE
1:100 | 1:250 @ A2

DATE
AUGUST 20'

REGULATED BY RICS

REVISION: B



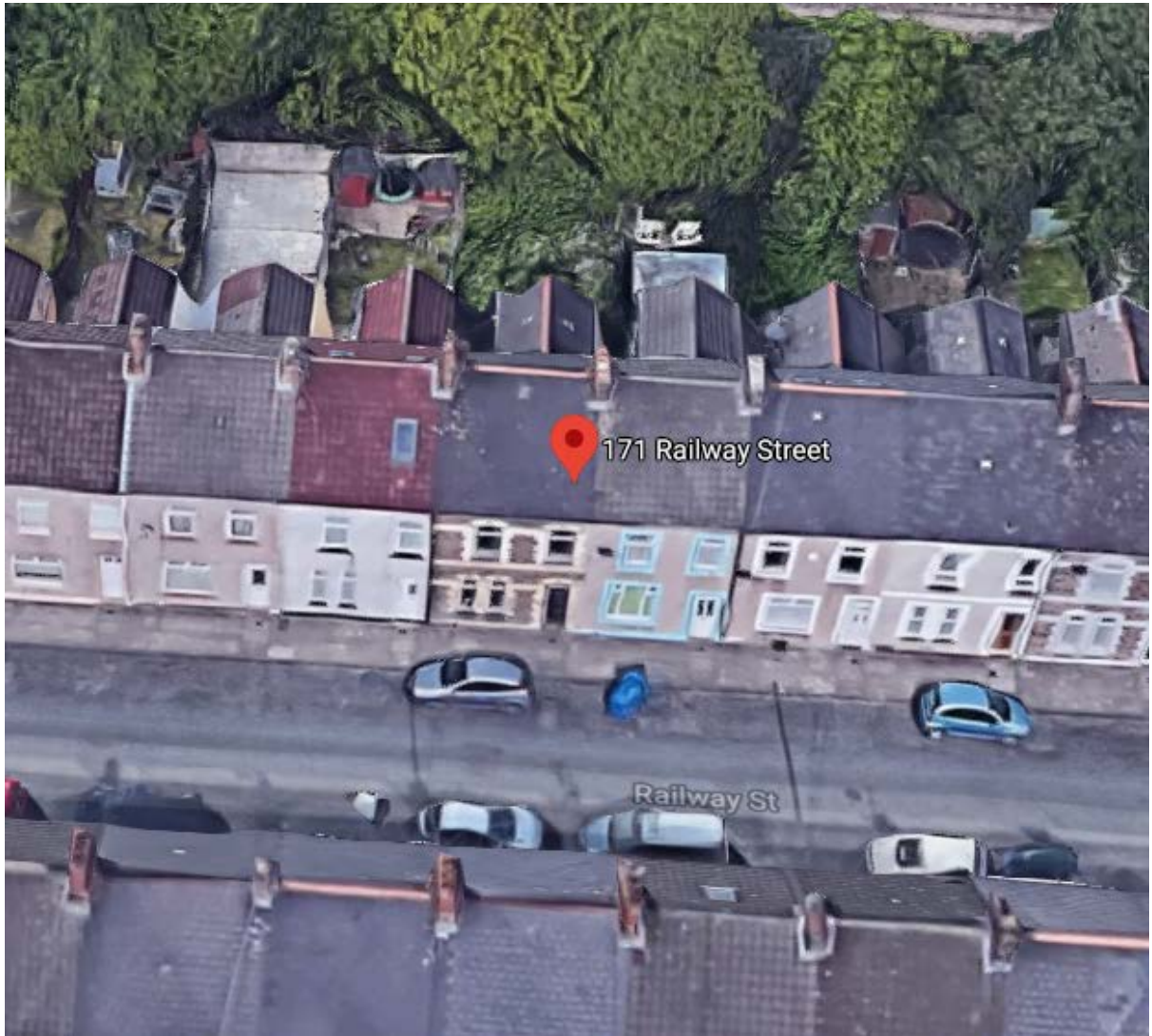
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Mae'r dudalen hon yn cael ei adael yn wag yn fwriadol

COMMITTEE DATE: 14/10/2020

APPLICATION No. **20/01190/MJR** APPLICATION DATE: 23/06/2020

ED: **TROWBRIDGE**

APP: TYPE: Full Planning Permission

APPLICANT: Cardiff Council

LOCATION: LAND AT WAKEHURST PLACE, TROWBRIDGE, CARDIFF

PROPOSAL: PROPOSED RESIDENTIAL DEVELOPMENT OF 13 No. 2, 3 AND 4 BED HOUSES, ASSOCIATED CAR PARKING, COMMUNAL GARDEN AND ACCESS ROAD

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following condition :

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:

- Landscape Strategy A112688_WP_100(K)
- Tree Constraints Plan 200428 –WP-TCP-N
- Tree Removal and Protection Plan 200515-WP-TRPP + PROPOSALS-Rev B-NB&AM
- Tree Plan 200428-WP-TCP-NB
- Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Retention and Protection Plan dated 3rd September 2020
- 4 Bed Plans AL(01)03 RevB
- 4 Bed Elevations AL(01)04 RevC
- 3 Bed Plans and Elevations AL(01)05 RevD
- 3 Bed Elevations AL(01)05 RevC
- 2 Bed Plans AL(01)07 Rev B
- 2 Bed Elevations AL(01)08 RevD
- Site Plan AL(90)02 Rev O
- Constraints and Opportunities AL(01)11
- Proposed Drainage Strategy CC1969 00 00 GA 52 1101 RevP05
- Location Plan AL(90)01

Reason: To avoid doubt and confusion as to the approved plans and supporting documents for this development.

3. No development, including site clearance, shall commence until a site wide Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority.

The CEMP shall include: Pollution Prevention-demonstrate how relevant Guidelines for Pollution Prevention and best practice will be implemented, including details of emergency spill procedures and incident response plan. The CEMP shall be implemented as approved during the site preparation and construction phases of the development. Reason: To ensure necessary management measures are agreed prior to commencement of development and implemented for to minimise the risk of pollution from construction and protect the Gwent Levels: Rumney and Peterstone Site of Special Scientific Interest.(LDP policies EN5, EN10 and EN11)

4. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it shall be reported in writing within 2 days to the Local Planning Authority, all associated works shall stop, and no further development shall take place unless otherwise agreed in writing until a remediation scheme to deal with the contamination found has been approved. An investigation and risk assessment shall be undertaken and where remediation is necessary a remediation scheme and verification plan shall be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report shall be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.
Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptors (LDP EN13).
5. Any topsoil [natural or manufactured],or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.
Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.
Reason: To ensure that the safety of future occupiers is not prejudiced (LDP EN13).
6. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority

in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced (LDP EN13).

7. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused. Reason: To ensure that the safety of future occupiers is not prejudiced (LDP EN13).

8. No development shall take place until full details of soft landscaping have been submitted to and approved in writing by the Local Planning Authority (LPA). These details shall include:
 - A soft landscaping implementation programme.
 - Scaled planting plans prepared by a qualified landscape architect.
 - Evidence to demonstrate that existing and proposed services, lighting, CCTV, drainage and visibility splays will not conflict with proposed planting.
 - Schedules of plant species, sizes, numbers and densities prepared by a qualified landscape architect.
 - Scaled tree pit sectional and plan drawings prepared by a qualified landscape architect that show the Root Available Soil Volume (RASV) for each tree.
 - Topsoil and subsoil specification for all planting types, including full details of soil assessment in accordance with the Cardiff Council Soils and Development Technical Guidance Note, soil protection, soil stripping, soil storage, soil handling, soil amelioration, soil remediation and soil placement to ensure it is fit for purpose. Where imported planting soils are proposed, full specification details shall be provided including the parameters for all imported planting soils, a soil scientists interpretive report demonstrating that the planting soil not only meets British Standards, but is suitable for the specific landscape type(s) proposed. The specification shall be supported by a methodology for storage, handling, amelioration and placement.
 - Planting methodology and post-planting aftercare methodology prepared by a qualified landscape architect, including full details of how the landscape architect will oversee landscaping implementation and report to the LPA to confirm compliance with

the approved plans and specifications.

The submitted details shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved design and implementation programme.

Reason: To enable the Local Planning Authority to determine that the proposals will maintain and improve the amenity and environmental value of the area, and to monitor compliance (LDP policy KP5).

9. Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority otherwise defective, shall be replaced.

Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition 9.

Reason: To maintain and improve the amenity and environmental value of the area (LDP Policy KP5).

10. No development shall take place until a construction method statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. The statement shall provide for:
- i. The parking of vehicles of site operatives and visitors
 - ii. Loading and unloading of plant and materials
 - iii. Storage of plant and materials used in constructing the development
 - iv. The erection and maintenance of security hoarding including decorative displays and facilities for public viewing
 - v. wheel washing facilities
 - vi. measures to control the emission of dust and dirt during construction
 - vii. a scheme of recycling/disposing of waste resulting from demolition and construction works

Reason: In the interests of highway safety and public amenity (LDP T5 and EN13)

11. Prior to the occupation of any of the dwellings on this site the access road serving them shall be finished to final wearing course and include surface water highway drainage in accordance with details to be submitted to and approved by the Local Planning Authority.

Reason: In the interests of the future occupants of this site (LDP T5).

12. Prior to development commencing details showing the provision of cycle parking spaces, and appropriate access to them, shall be submitted to and approved in writing by the Local Planning Authority. The approved

details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles. (LDP Policy T1)

13. Prior to development commencing details of the junction of the proposed access road and Wakehurst Place shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to beneficial occupation of any dwelling.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility (LDP Policy T5)

14. Prior to the occupation of any dwelling 2 bat boxes and 2 nest boxes shall be installed within the development in accordance with details approved in writing by the Local Planning Authority.

Reason: To enhance biodiversity (LDP Policy EN6).

RECOMMENDATION 2 Prior to the commencement of development, the developer shall notify the Local Planning Authority of the commencement of development, and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure)(Wales)(Amendment) Order 2016.

RECOMMENDATION 3 The contamination assessments and the affects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4 : The applicant is advised that section 3.25 of Planning Policy Wales states that the land use planning system should take account of the conditions which are essential to the Welsh language and in so doing contribute to its use and the Thriving Welsh Language well-being goal. In this context and with regard to the Welsh Language (Wales) Measure 2011, it is recommended that: (1) developments adopt a Welsh name that is consistent with the local heritage and history of the area, (2) during the construction phase, on site marketing information (i.e. text on construction hoardings / flags / banners – as consented) be provided bilingually and (3) for commercial developments, shopfront / premises signage be provided in Welsh or bilingually. Where bilingual signage is provided, Welsh text must not be treated less favourably in terms of size, colour, font, prominence, position or location (it is recognised that Welsh translation does not extend to company / business names). Cardiff Council's Bilingual Cardiff team (BilingualCardiff@cardiff.gov.uk) can provide advice on unique and locally appropriate Welsh names for developments, bilingual marketing / branding and bilingual signage.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application is for 13 affordable dwellings. The dwellings would comprise 3 pairs of semi-detached units and two terraces of 3 and 4 units. Two of the dwellings would be 4 bedroom in a 2.5 storey building with rear dormer. Seven of the dwellings would be 3 bedroom houses and four would be 2 bedroom houses, all two storey.
- 1.2 The dwellings would have grey synthetic slate roofs with walls of buff brick with feature panels of ibstock umbra sawtooth and contemporary matt black. Six dwellings will include flat roof gables to their fronts. Windows, doors and rainwater goods would be black. The materials will match that to be used nearby in the construction of older persons living accommodation granted on 23/12/2019 (ref 19/03320/MJR).
- 1.3 Eight of the dwellings would have 2 parking spaces and five would have 1 car parking space located in front of the dwelling they serve. Covered cycle parking would be provided in each rear garden to be DQR compliant. Mid terraced properties would be accessed by short rear gullies.
- 1.4 A communal garden is to be created in the north east corner of the site.
- 1.5 A 7m high Rowan tree C-classed and hedgerow will be removed to facilitate the development. The branches of a Birch overhanging the site would be removed.

18 new trees will be planted along with new hedging, shrubs, rain gardens and communal gardens.

- 1.6 Vehicular access is located in the same position as the original access close to 1 Wakehurst Place on the southern boundary of the site. A shared surface will serve the development.
- 1.7 The rear gardens of those dwellings close to Crickhowell Road and gardens adjoining public positions will be enclosed by 1.9m high brick walls.
- 1.8 The Design and Access statement states that the proposal will provide • A requirement of 17% improvement over the requirements of Building Regulation Part L to be achieved with the adoption of 'fabric first' approach, renewable energy capture, use of natural ventilation and water/electricity saving fittings, alongside a sustainable building management strategy.

2. **DESCRIPTION OF SITE**

- 2.1 The site is Council owned land and is occupied by a single storey former workshop building, which will be demolished. The site is 0.42 ha in area and is irregular in shape. Vehicular access is from Wakehurst Place to the south.
- 2.2 The northern part of the site is crossed by a Welsh Water easement.
- 2.3 The site is generally level and is approximately 1.5m below the level of Crickhowell Road to the west. Adjoining the eastern boundary are residential properties and to the north a band of trees.
- 2.4 The site lies within a predominantly residential area with the St Mellons Hub to the west and a retail centre, places of worship and bus stops to the north west close to this site.
- 2.5 Faendre Reen is some 12m north of the application site boundary.

3. **SITE HISTORY**

- 3.1 13/2312 Creche Facilities allowed 20/12/2013 in approximately half the building.
- 3.2 16/01719/MJR Outline consent for 15 houses on this site –Approved 12/07/2017
- 3.3 18/02548/MNR Demolition Consent of the building on this site – Approved 07/12/2018

4. **POLICY FRAMEWORK**

- 4.1 It is considered that the following LDP policies are relevant to this application:-
KP3 (B) Settlement Boundaries

KP5 Good Quality and Sustainable Design;
KP6 New Infrastructure
KP7 Planning Obligations
KP8 Sustainable Transport
KP13 Responding to Evidenced Social Needs
KP14 Healthy Living;
H3 Affordable Housing
H6 Change of use or redevelopment to residential use
EC3 Alternative Use of Employment Land and Premises

EN5 Designated Sites
EN8 Trees and Hedgerows
EN10 Water Sensitive Design
EN11 Protection of Water Resources
EN12 Renewable Energy and Low Carbon Technologies
EN13 Air, Noise, Light Pollution and Land Contamination
T1 Walking and Cycling
T5 Managing Transport Impacts
C3 Community Safety/Creating Safe Environments;
C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport
C6 (ii) Health
W2 Provision for Waste Management Facilities in Development.

4.2 It is considered that the following SPG policies are relevant to this application:-

Managing Transport Impacts
Residential Design Guide
Waste Collection and Storage Facilities
Green Infrastructure
Planning for Health

5. **INTERNAL CONSULTEE RESPONSES**

5.1 The Tree Officer states:

My reservations remain concerning the requirement to prune back the off-site birch tree 2 to accommodate the proposed dwelling, but otherwise, subject to development being implemented in accordance with the submitted AMS and TPP, unacceptable harm will not result to trees of amenity value.

In terms of soft landscaping, I recommend the following conditions if you are minded to take the application forward without such details upfront: -

Landscaping

No development shall take place until full details of soft landscaping have been submitted to and approved in writing by the Local Planning Authority. These details shall include:

- A soft landscaping implementation programme.

- Scaled planting plans prepared by a qualified landscape architect.
- Evidence to demonstrate that existing and proposed services, lighting, CCTV, drainage and visibility splays will not conflict with proposed planting.
- Schedules of plant species, sizes, numbers and densities prepared by a qualified landscape architect.
- Scaled tree pit sectional and plan drawings prepared by a qualified landscape architect that show the Root Available Soil Volume (RASV) for each tree.
- Topsoil and subsoil specification for all planting types, including full details of soil assessment in accordance with the Cardiff Council Soils and Development Technical Guidance Note, soil protection, soil stripping, soil storage, soil handling, soil amelioration, soil remediation and soil placement to ensure it is fit for purpose. Where imported planting soils are proposed, full specification details shall be provided including the parameters for all imported planting soils, a soil scientists interpretive report demonstrating that the planting soil not only meets British Standards, but is suitable for the specific landscape type(s) proposed. The specification shall be supported by a methodology for storage, handling, amelioration and placement.
 - Planting methodology and post-planting aftercare methodology prepared by a qualified landscape architect, including full details of how the landscape architect will oversee landscaping implementation and report to the LPA to confirm compliance with the approved plans and specifications.

The submitted details shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved design and implementation programme.

Reason: To enable the Local Planning Authority to determine that the proposals will maintain and improve the amenity and environmental value of the area, and to monitor compliance.

Landscaping Maintenance

Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced.

Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition *****, unless the Local Planning Authority gives written consent to any variation.

Reason: To maintain and improve the amenity and environmental value of the area.

5.2 Contamination state:

I would like to provide comments in relation to potential contamination issues on behalf of SRS: Environment Team:

The following information was submitted as part of the application:
Terra Firma (Wales) Ltd, July 2019; Geotechnical and Geoenvironmental Site Investigation Report Ref: 15388

The above report includes a contamination assessment of the proposed development, including site works. The assessment indicates there is no significant concern in relation to contamination for the proposed use. However the potential for contamination cannot be ruled out. I would therefore advise the use of the 'unforeseen contamination' condition.

Should there be any importation of soils to develop the garden/landscaped areas of the development, or any site won recycled material, or materials imported as part of the construction of the development, then it must be demonstrated that they are suitable for the end use. This is to prevent the introduction or recycling of materials containing chemical or other potential contaminants which may give rise to potential risks to human health and the environment for the proposed end use.

Shared Regulatory Services would request the inclusion of the following conditions and informative statements in accordance with CIEH best practice and to ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan:

CONDITIONS

PC14D. CONTAMINATED LAND MEASURES – UNFORESEEN CONTAMINATION

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning

Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15A IMPORTED SOIL

Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15B IMPORTED AGGREGATES

Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15C USE OF SITE WON MATERIALS

Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

ADVISORY/INFORMATIVE

R4 CONTAMINATION AND UNSTABLE LAND ADVISORY NOTICE

The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;

- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;
- Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

5.3 (a) The Waste Officer states:

The proposed storage areas for each property have been noted and are acceptable. Please ensure the storage areas at the front of the terraced houses are large enough to store the recommended bins.

Each house will require storage for the following bin provisions:

- 1 x 140 litre bin for general waste
- 1 x 240 litre bin for garden waste
- 1 x 25 litre caddy for food waste
- Green bags for recycling (equivalent to 140 litres)
- 1 x 30 litre bin for glass waste

Please advise the owner/applicant that since 27th July 2015, the developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting Waste Management on 02920 717500.

Vehicle tracking for the site need to be submitted to ensure our largest vehicles (OLYMPUS-19N 6x2RS) can enter and exit in a forward gear. It has been noted that a turning heads has been provided, but tracking diagrams will need to be submitted to show that this is suitable for the collection vehicles.

Waste is not collected from private drives, therefore plots 1-4 will need to present their bins at the entrance to the private drive in view of the spine road on collection day.

Refuse storage, once implemented, must be retained for future use. Please refer the agent/architect to the Waste Collection and Storage Facilities Supplementary Planning Guidance for further relevant information.

(b) And

Could the middle terraced properties not use the rear access that has been included on the latest plan so that they can store the waste at the rear?

How far is it from their rear gate to the kerbside? Is it in excess of 30m?

I am doubtful that all the bins will fit in the small storage areas at the front of the mid terraced properties as we go down the road of kerbside separation sorting and our preference would be for waste to be stored at the rear of properties where possible.

(The size of bin areas has been flagged up with the applicant. Bin stores in the front of terraced houses have been incorporated into the design of the terraces).

5.4 The Transport Officer states:

- Happy with the principle of the junction as drawn. Detailed matters would be dealt with via the s38/278 process (to be a Recommendation), and would also seek an appropriate planning condition (see below). Whilst the access road starts at 6m width still, it does then narrow to 5m beyond the bend, and this helps to ensure that appropriate refuse swept path access can be achieved.
- It is noted that the steps/ramp to the west linking with Crickhowell Rd are not being put up for adoption, but these will still be useful connections for site residents.
- It is good to see that rear cycle stores/gullies are now proposed in order that the mid-terrace properties can have adequate cycle access. All cycle stores will need to have a suitable paved access connection between them and the public highway, and sheds will need to be of adequate size. It would be desirable if the shed for Plot 12 is moved to the east side of the plot. It is considered these items can be conditioned (see below).

Access Junction

Prior to development commencing details of the junction of the proposed access road and Wakehurst Place shall be submitted to and approved in writing by the Local Planning Authority. Those details shall be implemented prior to beneficial occupation.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility.

Cycle Parking

Prior to development commencing details showing the provision of cycle parking spaces, and appropriate access to them, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles.

5.5 The Parks Officer states:

Design Comments

Nothing to add to Tree Officer's comments.

Open Space Provision

These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council's approach to open space provision.

The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.

Based on the information provided on the number and type of units, I have calculated the additional population generated by the development to be 30.9. This generates an open space requirement of 0.075 ha of on-site open space based on the criteria set for Housing accommodation, or an off-site contribution of £32,060. I enclose a copy of the calculation

As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of new open space, or the design, improvement and/or maintenance of existing open space in the locality, given that demand for usage of the existing open spaces would increase in the locality as a result of the development.

The use of S106 contribution from this development will need to satisfy CIL and the current distance requirements set out in the 2017 Planning Obligations SPG – play areas 600m (not applicable to student and sheltered accommodation), informal recreation 1000m, and formal recreation 1500m, measured from edge of the site.

In the event that the Council is minded to approve the application, I assume it will be necessary for the applicant and the Council to enter into a Section 106 Agreement to secure payment of the contribution.

Consultation will take place with Ward Members to agree use of the contribution, and this will be confirmed at S106 stage. The closest areas of

recreational open space are Caerleon Park, Coleford Drive Open Space, Cath Cobb Rec and Cath Cobb Woods, St Mellons Linear Park, Hendre Lake Park

6. **EXTERNAL CONSULTATIONS**

6.1 NRW state:

We have significant concerns with the proposed development as submitted. We recommend you should only grant planning permission if you attach the following conditions to the permission. Otherwise, we would object to this planning application.

Condition 1: Designated sites - Construction Environmental Management Plan;
Condition 2: Land contamination - Unsuspected contamination.
Further details in relation to these conditions is provided below.

Designated Sites

Faendre Reen runs along the northern boundary of the proposed development site and flows into the Gwent Levels: Rumney and Peterstone Site of Special Scientific Interest (SSSI). Provided suitable measures are put in place during construction to prevent pollution entering the Faendre Reen, we are of the opinion the special interest of the Gwent Levels: Rumney and Peterstone SSSI could be safeguarded.

We would recommend planning permission should only be granted if the following condition is attached to any permission the Local Planning Authority is minded to grant.

Condition 1: No development, including site clearance, shall commence until a site wide Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The CEMP should include: Pollution Prevention - demonstrate how relevant Guidelines for Pollution Prevention and best practice will be implemented, including details of emergency spill procedures and incident response plan. The CEMP shall be implemented as approved during the site preparation and construction phases of the development.

Reason: To ensure necessary management measures are agreed prior to commencement of development and implemented for to minimise the risk of pollution from construction and protect the Gwent Levels: Rumney and Peterstone Site of Special Scientific Interest.

Pollution Prevention Guidelines are available from NetRegs.

Land Contamination

We consider the proposed development site is environmentally sensitive, as it borders Faendre Reen and overlies a secondary bedrock aquifer. Secondary bedrock aquifers are permeable layers capable of supporting water supplies at a local rather than strategic scale, and in some cases forming an important source of base flow to rivers. Therefore, surface waters next to, and groundwater below the site may be vulnerable to the proposed development.

The site is referred to as brownfield land, however it is unclear from the information provided whether any historical land use may have resulted in gross contamination. Therefore, the proposed development would be acceptable if the following measure is implemented and secured as a planning condition on any permission the Local Planning Authority is minded to grant.

Condition 2: If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this unsuspected contamination shall be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be carried out as approved.

Reason: To ensure the risks associated with previously unsuspected contamination at the site are dealt with through a remediation strategy, to minimise the risk to both future users of the land and neighbouring land, and to ensure that the development can be carried out safely without unacceptable risks.

European Protected Species –Bats

We have reviewed the following report submitted in support of this application:- Bat Survey Report, St Mellons Community Centre, Wakehurst Place, Cardiff, prepared by Ethos Environmental Planning, dated October 2018. The report states there is negligible potential for roosting bats and that surveys of external and internal structures found no evidence of bats. It concludes that no further surveys were required. We therefore have no comments to make on the application as submitted in respect of European Protected Species –Bats.

Other Matters

Our comments above only relate specifically to matters included on our checklist, Development Planning Advisory Service: Consultation Topics (September 2018), which is published on our website. We have not considered potential effects on other matters and do not rule out the potential for the proposed development to affect other interests. We advise the applicant that, in addition to planning permission, it is their responsibility to ensure they secure all other permits/consents/licences relevant to their development. Please refer to our website for further details.

- 6.2 South Wales Police have no objection to the proposed development and have been engaged in pre-application discussions. South Wales Police welcome the proposed layout and general design which they believe will create active surveillance and assist with creating a safer and more sustainable neighbourhood and community.

South Wales Police welcome reference made in the design and access to adopting the principles of secured by design but would argue these need to be detailed and included within the Design and Access statement submission.

For this reason South Wales Police make a number of specific recommendations listed below:

- 1 All rear gardens are made secure by 1.8m min walling, fencing and gating (2.1m min where property boundary adjoins public open space) this would apply to boundary along Fendra Raen reason to prevent burglary and theft.
- 2 All main external entrance doors are PAS24 2012 compliant reason to prevent burglary.
- 3 All ground floor windows are PAS24 2012 compliant reason to prevent burglary.
- 4 All service meters are located to front elevations of properties and are externally readable reason to prevent distraction type crime.
- 5 All parking areas are overlooked by properties reason to prevent vehicle related crime.
- 6 A scheme of work in relation to lighting is submitted to the local authority for approval prior to completion reason to enhance personal safety.
- 7 The estate is built to Secured by Design standards reason to reduce crime.

South Wales Police would be happy to work with developers to achieve Secured by Design Standards which has been shown to reduce crime risk by up to 75%.

South Wales Police would ask that items 1-6 be considered by way of condition in line with Authorities obligations to prevent crime under Crime and Disorder Act.

6.3 Welsh Water states:

We would request that if you are minded to grant Planning Consent for the above development that the Conditions and Advisory Notes provided below are included within the consent to ensure no detriment to existing residents or the environment and to Dwr Cymru Welsh Water's assets.

ASSET PROTECTION

Having had an opportunity to review the application submission package, we advise that the proposed development site is crossed by a public sewer with the approximate position being marked on the attached Statutory Public Sewer Record. In accordance with the Water Industry Act 1991, Dwr Cymru Welsh Water requires access to its apparatus at all times in order to carry out maintenance and repairs. However, having regard to drawing number: CC1969 CAM 00 00 GAC 52 1101 Rev P04, it appears the proposed storage sheds located in plots 8 & 13 would be situated within the protection zone of the public sewer measured 3 metres either side of the centreline. It may be possible to divert the sewer if the developer applies under Section 185 of the Water Industry Act and we request that they contact us to discuss and consider possible solutions. Alternatively, we recommend the proposed development is repositioned to accommodate for the required protection zone.

SEWERAGE

We can confirm capacity exists within the public sewerage network in order to receive the domestic foul only flows from the proposed development site.

Surface Water Drainage

As of 7th January 2019, this proposed development is subject to Schedule 3 of the Flood and Water Management Act 2010. The development therefore requires approval of Sustainable Drainage Systems (SuDS) features, in accordance with the 'Statutory standards for sustainable drainage systems – designing, constructing, operating and maintaining surface water drainage systems'. It is therefore recommended that the developer engage in consultation with the Local Authority, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Please note, Dwr Cymru Welsh Water is a statutory consultee to the SAB application process and will provide comments to any SuDS proposals by response to SAB consultation.

Advisory Notes

The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dwr Cymru Welsh Water on 0800 085 3968 to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

SEWAGE TREATMENT

No problems are envisaged with the Waste Water Treatment Works for the treatment of domestic discharges from this site.

WATER SUPPLY

A water supply can be made available to serve this proposed development. The developer may be required to contribute, under Sections 40 - 41 of the

Water Industry Act 1991, towards the provision of new off-site and/or on-site watermains and associated infrastructure. The level of contribution can be calculated upon receipt of detailed site layout plans which should be sent to the address above.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

6.4 GGAT states:

You may recall our letter dated 25th August 2016 (Our ref: A52475/RD) in response to earlier application 16/01719/MJR, in which we did not have any archaeological objections. Our understanding of the archaeological resource of the area remains the same and consequently, our response remains unchanged and is reiterated below.

The Historic Environment Record, curated by this Trust, indicates that no designated archaeological sites are located within, or in the immediate vicinity of, the proposed development. Similarly, a review of historic mapping of the area indicates no archaeologically significant structures or features.

A Roman enclosure as well as associated features and a possible building has been excavated at Crickhowell Road. However the current application is located approximately 650m to the north, and the excavation concluded that the features lay on the periphery of a settlement, the focus of which was likely to be located further to the south of the excavation area. In any case, such features are unlikely to extend into the current application area. Furthermore, the construction of the current structures in the application area, along with associated hard landscaping is likely to have an adverse effect on any archaeological remains that may be present.

As a result, there is unlikely to be an archaeological restraint to this proposed development and consequently, as the archaeological advisors to your Members, we have no objections to the positive determination of this application. The record is not definitive, however, and features may be disturbed during the course of the work. In this event, please contact this division of this Trust.

7. **REPRESENTATIONS**

7.1 Local Members have been consulted. No representations have been received to date but will be reported to the Planning Committee if received prior to the meeting.

7.2 The proposal was advertised in the press and by site notice as a major application.

7.3 Neighbouring occupiers were consulted by letter. No representations have been received to date.

8. **ANALYSIS**

8.1 The application site falls within the settlement boundary as defined by the Adopted Local Development Plan but has no specific land use allocation and is not identified in Policy EC1 as existing employment land to be protected for B Use Class employment generating uses.

8.2 The former St Mellons Local Training and Enterprise Centre site is therefore afforded no policy protection in relation to land use policy. The principle of residential use on this site has already been established through planning application 16/01717/MJR.

8.3 Policy H6: Change of Use or Redevelopment to Residential Use provides the policy framework against which the proposal should be assessed.

Policy H6 permits the change of use of redundant premises where:

- i. There is no overriding need to retain the existing use of the land or premises and no overriding alternative local land use requirement;
- ii. The resulting residential accommodation and amenity will be satisfactory;
- iii. There will be no unacceptable impact on the operating conditions of existing businesses;
- iv. Necessary community and transportation facilities are accessible or can be readily provided or improved; and
- v. It can be demonstrated that the change of use to a more sensitive end use has been assessed in terms of land contamination risk and that there are no unacceptable risks to the end users.

8.4 Assessed against the above policy framework, the application site is not protected employment land, and the premises are vacant. Therefore there is no need to retain the land and premises for their existing use. The application site is in a sustainable location, well served by public transport; and within very close proximity to local services and facilities in St Mellons District Centre. The surrounding area is predominantly residential and the proposal is considered compatible with surrounding land uses.

8.5 In summary, the application raises no land use policy concerns.

8.6 This scheme was referred to the Design Commission for Wales before submission. The DCfW welcomed the ambition of the scheme and recognised that the site strategy was developed in a logical way, which should be reflected in the DAS for the site, identifying strengths and weaknesses of the options considered.

8.7 The DCFW report recommended the following amendments be considered:

- The buildings should be used to define usable and significant spaces

- Reducing the width of the road should be explored and may result in the potential for more meaningful landscaping:
- A new footpath should be introduced on the northern side of the road connected to the ramped access.
- To maximise a fabric first approach greater use of terraced housing should be explored.
- Electric vehicle charging point should also be given early consideration.
- Replace 'glazed' brick with a matt finish for the dark bricks.
- Boundary treatments onto public areas should be walled to provide appropriate enclosure and security.
- The boundary between Crickhowell Road and the adjacent dwelling requires further work as there are potential overlooking and security issues.

8.8 The DAS states that "Following the advice of the DcfW, the following key elements were sought to be integrated within the scheme:

- The entrance to the site was revised, creating a straightened access and a more overlooked 'entrance square'
- A new footpath introduced on the northern side of the road connected to the ramped access.
- To maximise a fabric first approach greater use of terraced housing was included
- Electric vehicle charging point were consideration.
- 'Glazed' brick replaced with a matt finish for the dark bricks.
- Boundary treatments onto public areas has been walled to provide appropriate enclosure and security.
- Introducing windows into the habitable rooms in the gable ends of the two houses adjoining the highway overlooking this area."

8.9 The number and size of dwellings proposed and their layout raises no fundamental planning issues and are generally regarded as complying with the Residential Design Guide SPG and the provision of adequate screening for privacy purposes. There is one exception in that the terrace of four units has gardens 10m long instead of the 10.5m identified in the Guidelines. It is considered that a relatively modest relaxation is acceptable in facilitating the development of the two bedroom units proposed in this part of the site.

8.10 Consultees' comments have been incorporated as conditions within Recommendation 1 with NRW's second condition being incorporated into the fourth condition recommended above. Welsh Water's comments have been forwarded to the applicant.

8.11 Amended plans have been submitted to address the Waste Officer's comments.

8.12 The applicant has agreed with the Parks Officer's financial contribution towards POS provision.

8.13 The applicant has submitted amendments in light of the Transport Officer's comments. A dropped footway type junction is to be provided. The carriageway

has been reduced to 5m in width but the 2m wide footpath kept. A pedestrian link adjacent to Plot 6, could not be included as it would reduce a rain garden which the applicant states is critical for the drainage strategy for the scheme. Swept path analysis demonstrating that a refuse vehicle and car can pass on the site access road has been provided. The retention of the ramp, and introduction of a new stepped area to remain as Cardiff Housing paths and not be adopted. Rear gullies have been introduced to allow access to mid terrace properties. The sheds for cycle storage are designed to be DQR compliant. Routes between the sheds and the public highway via gullies are to be 1m wide.

- 8.14 The vehicular access is in the same position as the existing vehicular access serving the enterprise centre. It is not considered that the development would raise any new highway issues having regard to the amendments to the scheme described above.
- 8.15 An ecological study submitted with the application recommended 2 bat boxes and 2 nest boxes. No evidence of existing bats or nesting birds was identified in the study. The study concludes that "Overall, it is assessed that the redevelopment of the site will benefit bats by greening the site with new garden habitats associated with the proposed dwellings and additional landscape planting along the southern and western boundaries."
- 8.16 The off-site Birch tree identified by the Tree Officer overhangs part of the application site. The tree is not afforded any special protection and the overhanging branches and even the tree can be removed without the consent of the Local Planning Authority. The tree is some 6m high, in the rear garden of 1 Wakehurst Place and is not considered to be in a particularly prominent position. The proposed removal of some of the overhanging branches enables scaffolding to be erected to construct part of the side wall of this affordable dwelling. It should be noted that 18 new trees are to be planted as part of the landscaping scheme.
- 8.17 Well-Being of Future Generations Act 2016 - Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision. The provision of affordable housing in a sustainable location is a positive measure.
- 8.18 Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

8.19 The DAS says amongst other things to do with security that:

The site is adjacent to a busy highway, adjacent to existing commercial facilities, which provides good natural surveillance from Crickhowell Road. The scheme has been designed with habitable windows positioned to afford natural surveillance of the building entrances and private parking areas.

The proposed development will be defined by new site boundaries, where:

- all rear or side boundaries adjoining public spaces should be full height 2m brick walls;
- all rear fencing for the back to back gardens should be 1.8m fence.
- a 2m railing with lockable gate provides a secure boundary to the communal garden (allowing visibility into the garden and offering a suitable boundary treatment crossing the foul sewer and easement).
- Planting and landscaping is used elsewhere to help define boundaries to the public realm.

The development seeks to comply with the principles set out by Secured By Design, in designing out crime and the incorporation of crime prevention ideas at the design stage.

8.20 Whilst the Police are generally pleased with the layout they have made two comments regarding a public access route and some of the parking spaces.

8.21 The reason that the pedestrian link is proposed is that it offers a convenient access to the local amenities for residents, in this case across the road. This promotes active travel and healthy choices. The relevant path is directly overlooked by the neighbouring properties, and so a necessary degree of surveillance is provided to create a sense of security. It is in no way dangerous. If the steps were to be occasionally sat on it is not in itself an illegal thing to do. It does not appear to be a space that young people might “loiter” as again it is overlooked. The intimacy of the scheme will allow it to be self-managed by residents as normally occurs in neighbourhoods.

8.22 The parking is all in front of people’s homes and directly overlooked from the front of their homes.

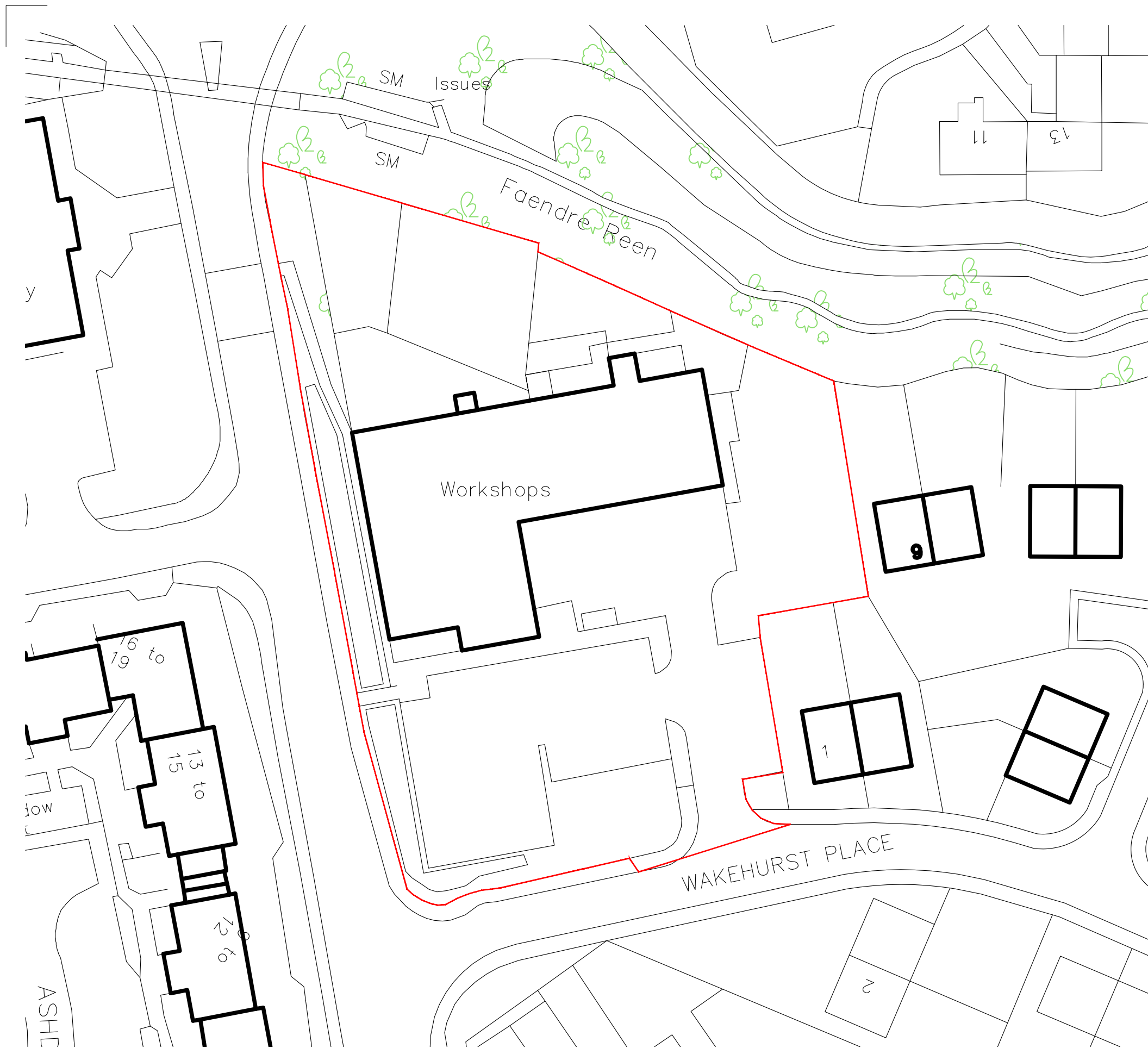
8.23 The Police make an unusual reference to changing the material of the actual highway to highlight defensible space. This does not demonstrate an understanding of what defensible space actually is. The highway or landscape does not have to be altered in the manner suggested for reasons of security or even policing.

8.24 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

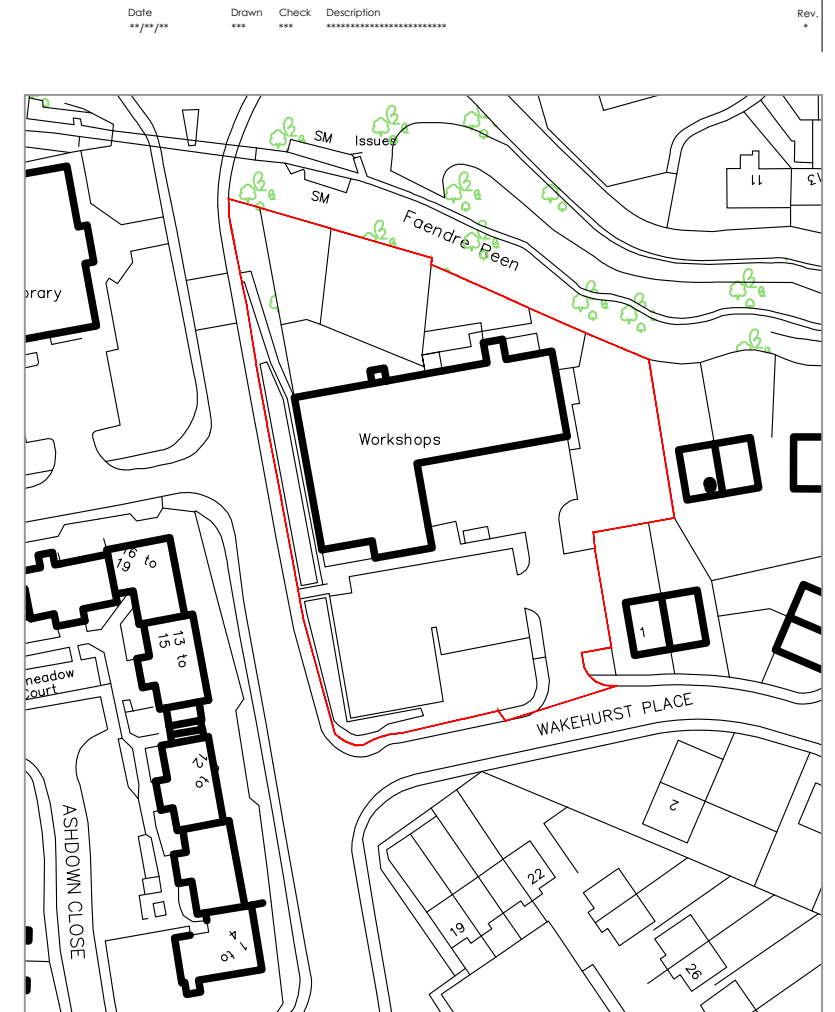
8.25 In conclusion it is considered that the proposed residential development on this brownfield site in a sustainable location providing much needed affordable dwellings that conforms to LDP policies can be granted permission subject to a Unilateral Undertaking and conditions.

9. **UNILATERAL SECTION 106 UNDERTAKING**

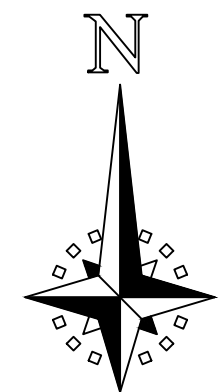
9.1 The Parks Officer has identified a S106 requirement of £32,060 for use in Caerleon Park, Coleford Drive Open Space, Cath Cobb Rec and Cath Cobb Woods, St Mellons Linear Park, Hendre Lake Park.



Location Plan
1:500 @ A3



Location Plan
1:1250 @ A3



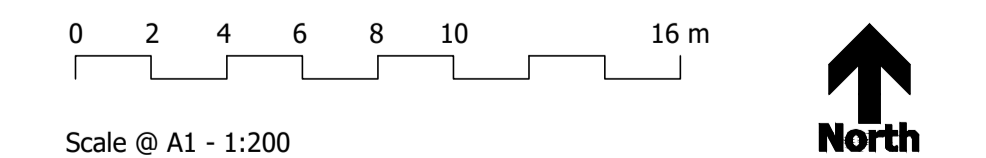
Residential Development at Wakehurst Place, St Mellons		Job No. 18.059	Rev.
Location Plan		Dwg No. AL(90)01	
Date	Drawn	Scale	
November 2019	***	1:500 & 1:1250 @ A3	
		Architects · Town planners Environmental & Urban design	
		<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 6HL. www.c-architects.co.uk tel: 029 20452100</small>	

Wakehurst Place Landscape Strategy WP.100

Key

Note: This is the landscape strategy for Wakehurst Place. A detailed planting plan will be prepared separately and will comprise a scaled planting plan, plant schedule, topsoil and subsoil specification for all planting types, tree pit section and plan views showing root available soil volumes, planting methodology, aftercare methodology, implementation programme and evidence to show that services including drainage will not conflict with planting.

- 1 **Existing woodland along watercourse:** Existing woodland to be managed. Existing metal palisade fence to be retained. Black dash denotes RPA.
- 2 **Existing trees to be retained**
- 3 **Trees to be removed**
- 4 **Drainage easement**
- 5 **Specimen trees:** Large and medium sized trees (10no. total) with narrow and compact crowns. Proposed species to be informed by a Soil Resource Survey and Plan. Alignment of proposed services to avoid positioning of trees and to ensure that soil volumes of proposed trees are not impacted. Refer also to 'Rain garden' below.
- 6 **Mixture of native and ornamental trees/shrubs** along the western boundary, to be informed by a Soil Resource Survey and Plan. Alignment of proposed services to avoid positioning of trees and to ensure that soil volumes of proposed trees are not impacted. No. of specimen trees: 6no.
Potential species along the western boundary to include:
Native trees: *Betula pubescens* and *Alnus glutinosa* to be planted away from the buildings.
Native understory shrub mix: *Corylus avellana*, *Viburnum opulus*, *Cornus sanguinea* and *Salix caprea*.
- 7 **Hedge planting:** Evergreen hedging to be provided to screen views of the private gardens from the public areas.
- 8 **Shrub planting:** to include a mixture of evergreen and deciduous shrubs and plants with bold foliage. Specimen shrubs, such as phormiums, to be provided for height and focal points. Bright / contrasting colours to be positioned adjacent to building entrances and grasses to be provided for texture within the planting areas. Kerbs around planting beds adjacent to properties to be edged with Standard EF kerbs, flush with surface.
- 9 **Specimen shrubs**
- 10 **Rain garden:** Planting areas to incorporate SuDS features to collect stormwater from the roads through slotted openings in the kerb. Standard HB2 kerbs with a full height upstand, 125mm, shall be provided around rain gardens. Potential tree species:
WATERLOGGED SOIL: *Betula pubescens*
ALTERNATELY INUNDATED AND DRY SOIL: *Acer x zoeschense*, *Alnus x speethii*, *Gleditsia triacanthos* and *Liquidambar styraciflua*
- 11 **Wildlife pond:** indicative area for a pond in the community garden area. Bucket 300mm dug into ground
- 12 **Ecotone** to be created adjacent to the woodland along the north. Species to include native shrubs only, and limited to *Rosa canina* (dog rose), *Cornus sanguinea* (dogwood), *Sambucus nigra* (elderberry) and *Hedera helix* (ivy) due to the existing underground easement. Proposed species within easement to be subject to approval from DCWW. Native grass species and native herbaceous plants to also be included within the ecotone buffer, along the frontage.
- 13 **Raised planters**
- 14 **Private garden:** To be sown with suitable grass mix to provide usable space.
- 15 **Garden terrace/ front paths:** To be paved with buff colour concrete flags, such as Tobermore Textured Flags.
- 16 **Footway:** To be paved with heather colour block paving, such as Tobermore Tegula blocks. Delineation between footpath and the road will be provided by a standard HB2 kerb, buried into the ground, with a 50mm upstand.
- 17 **Tarmac in road:** Road to be read as a shared surface area with adjacent footpaths. Delineation between footpath and the road will be provided by a standard HB2 kerb, buried into the ground, with a 50mm upstand. Standard HB2 kerbs with a full height upstand, 125mm, shall be provided around rain gardens and at the junction with Wakehurst Place.
- 18 **Private drive:** To be paved with cedar colour block paving, such as Tobermore Tegula blocks.
- 19 **Private parking spaces and block paving across road:** To be paved with natural (light grey) colour block paving, such as Tobermore Pedesta blocks 'Slate'. Kerbs between tarmac and block paving strip in the road to be standard HB3 kerbs, flush with surface. Kerbs between parking pays and road to be standard EF kerbs, flush with surface.
- 20 **Compacted gravel:** To be in community garden area.



Scale @ A1 - 1:200

A112688_WP_100[K]_Landscape Strategy.dwg 14 September 2020

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Tree survey information. Refer to Broadway Tree Consultancy for details





Bird table and feeding area

Bug hotels
Timber edge
Compost bin

WAKEHURST PLACE

Date	Drawn	Check	Description	Rev.
04/10/19	kpi	***	Design further developed.	A
03/01/19			Design further developed.	B
10/01/2020			Design further developed.	C
24/01/2020			Design further developed.	D
04/02/2020			Design further developed.	E
21/04/2020			Design further developed.	F
26/04/2020			Proposed WYG landscaping plan shown.	G
15/05/2020			Road widths adjusted.	H
13/07/2020			Garden access to plots 6, 7 and 12.	I
29/07/2020			Vehicle crossover shown, access gates to gardens, boundary treatments amended.	J
13/08/2020			Access gate to gardens of plots 6 and 7 relocated.	K
14/08/2020			North west and south west parking spaces amended.	L
25/08/2020			WYG landscaping plan shown.	M
03/09/2020			Bin stores removed from fronts of 2 and 3 bed houses; no longer need '3A' and '3B'.	N
11/09/2020				O

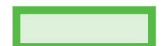


Site Boundary Treatments

-  Existing palisade fence along northern boundary re-en
-  1.9m high brick walls plus soldier course to all rear and side boundaries adjoining public spaces
-  1.8m high fencing to gardens
-  2m high galvanised and powder coated steel railings with lockable gate to communal garden



Artist impression of boundary wall

Key

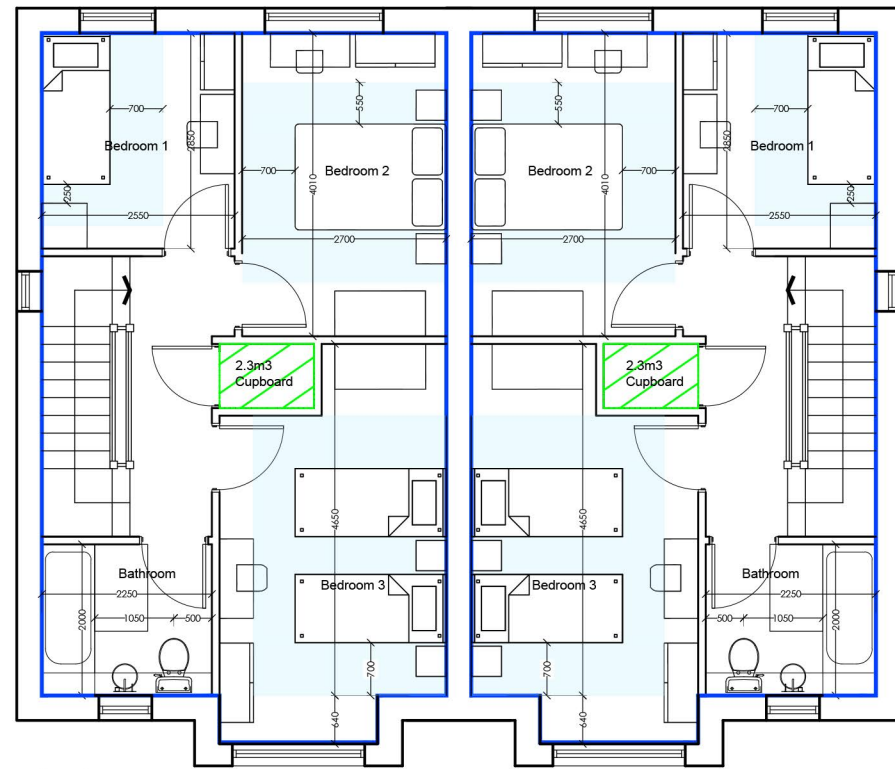
-  2 Bed House
-  3 Bed House
-  4 Bed House
-  Easement



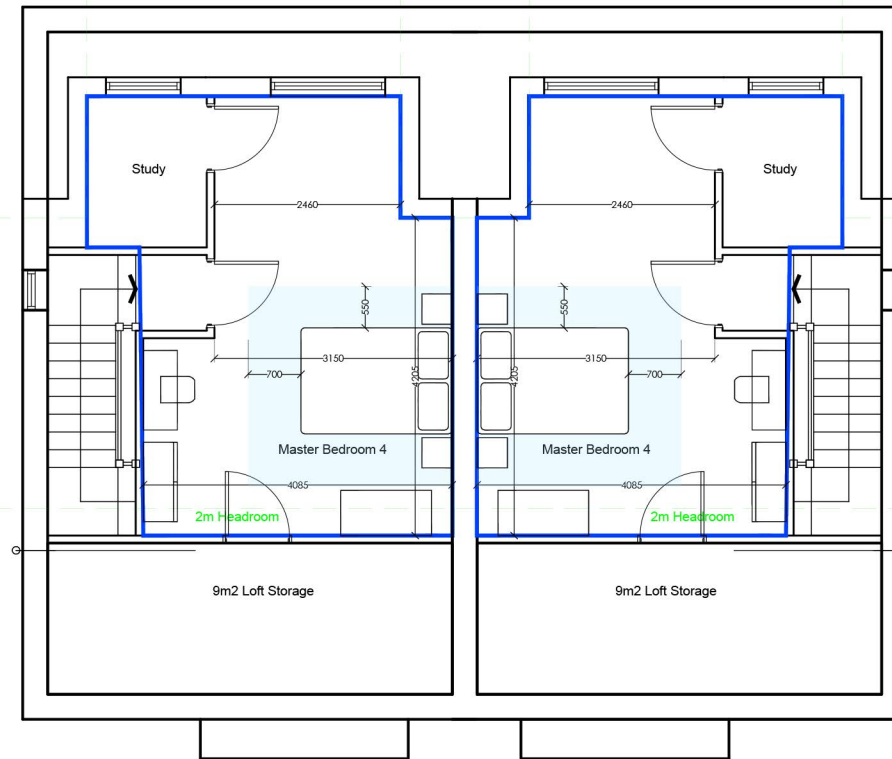
Site Plan
1:500 @ A3



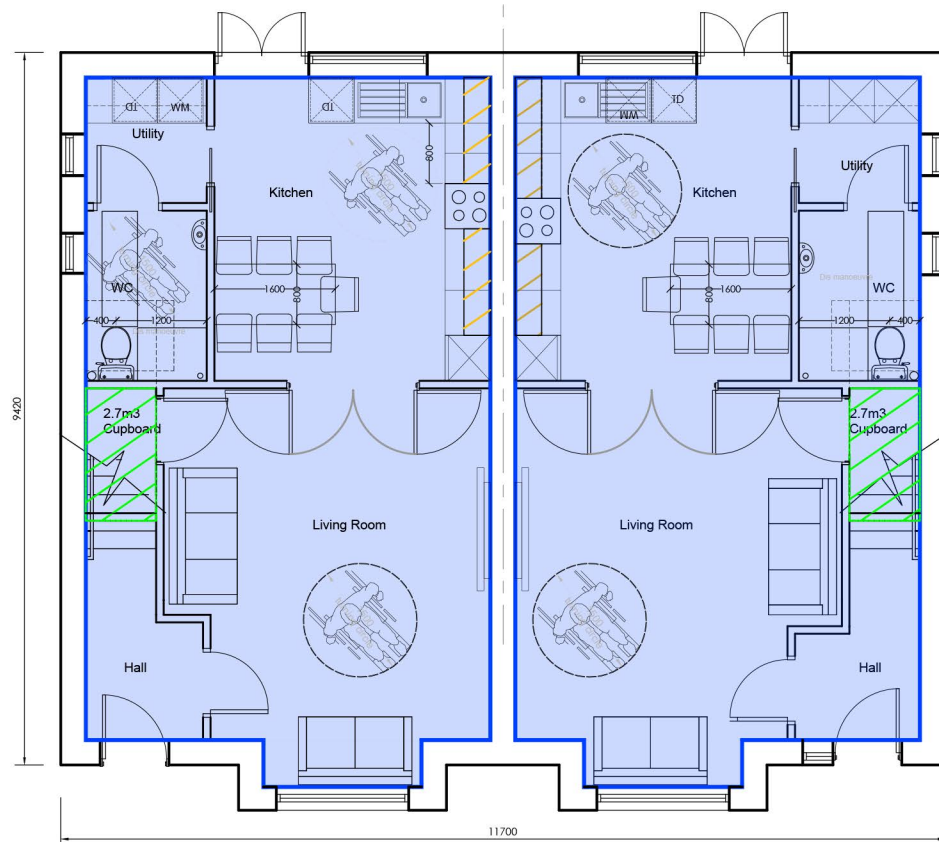
Residential Development at Wakehurst Place, St Mellons		Job No. 18 059
Proposed Site Plan		Dwg No. AL(90)02
Date July 2018	Drawn WS	Scale 1:500 @ A3 1:250 @ A1
		Rev. O
Architects · Town planners		
Environmental & Urban design		
Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 6HL		www.c.jarchitects.co.uk tel: 029 20452100



First Floor Plan
GIA 48 sqm - 505 sqft



Second Floor Plan
GIA 24 sqm - 260 sqft



Ground Floor Plan
GIA 48 sqm - 505 sqft

4 Bed House Type

Residential Development at Wakehurst Place, St Mellons		Job No. 18 059
		Dwg No. Rev. AL(01)03 B
Title 4 Bed House Plans		
Date Oct 18	Drawn WS	Scale 1:100 @ A3 1:50 @ A1
 Architects · Town planners Environmental & Urban design		www.cjarchitects.co.uk tel: 029 20452100
Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 9HL		

Date	Drawn	Check	Description
23/05/19	WS	***	Finishes changed.
07/10/19	kp	***	changes to coordinate with plan changes
21.04.20			Front Bedroom Windows Revised

Rev.
A
B
C



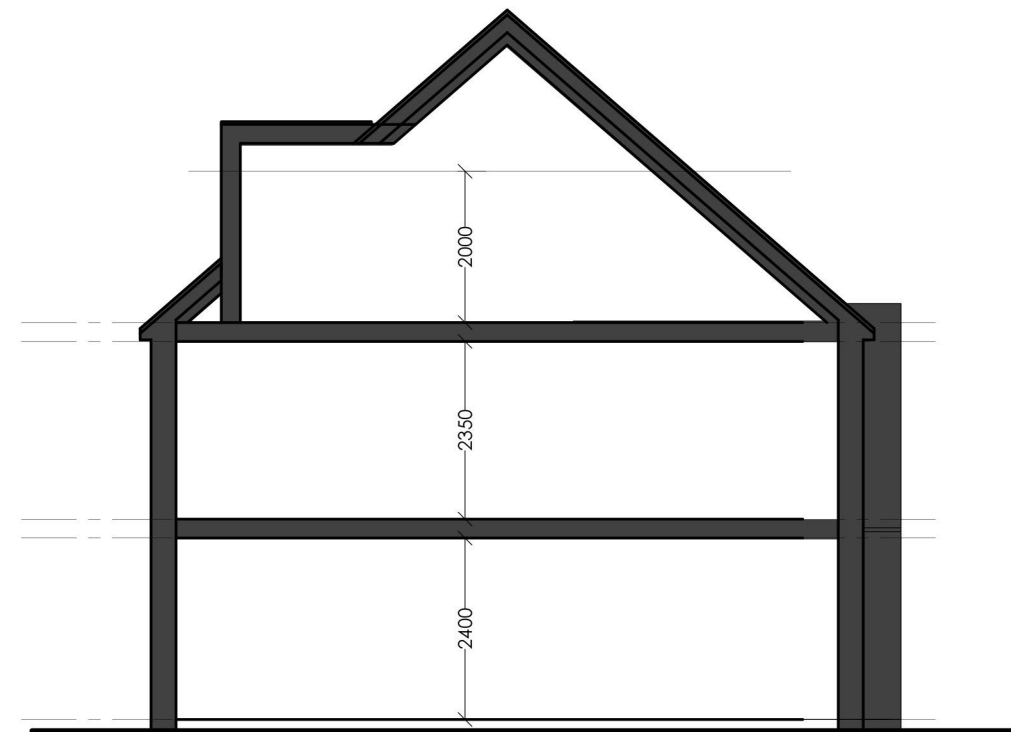
Front Elevation



Side Elevation



Rear Elevation



Section

4 Bed House Type

Milton Buff 'London'



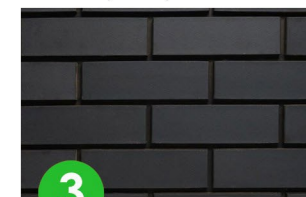
1

Ilstock 'Umbra Sawtooth'



2

Contemporary Matt Black

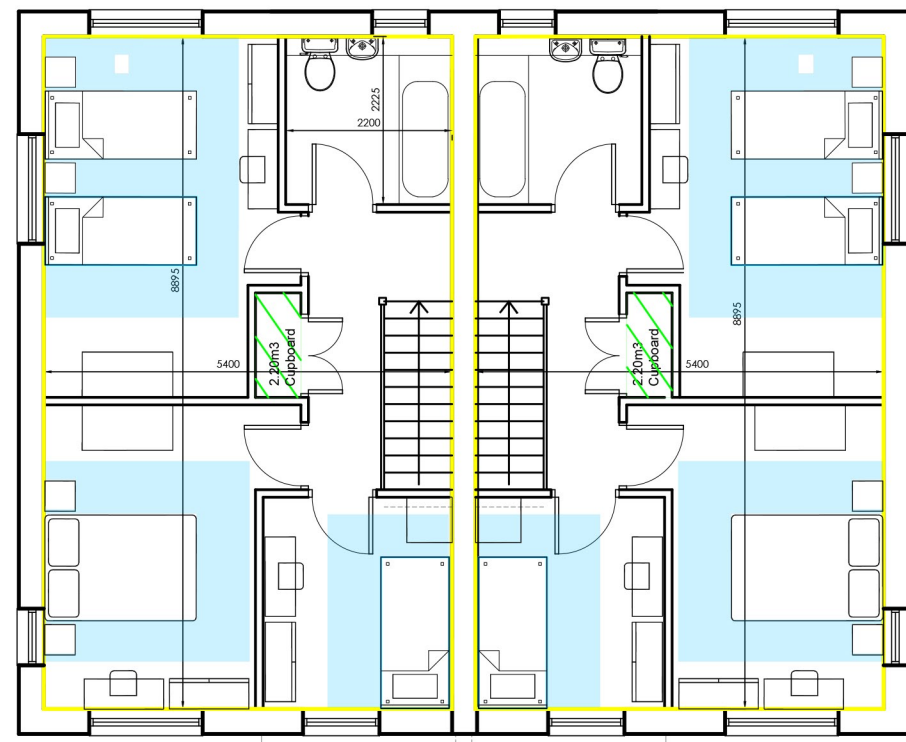


3

Residential Development at Wakehurst Place, St Mellons		Job No. 18 059
Title 4 Bed House Elevations		Dwg No. AL(01)04
Date Oct 18	Drawn WS	Rev. C
Scale 1:100 @ A3 1:50 @ A1		
 Architects · Town planners Environmental & Urban design		
Unit 1A, Compass Business Park, Pacific Road, Cardiff. CF24 6HL		www.cjarchitects.co.uk tel: 029 20452100

Date	Drawn	Check	Description
07/10/19	kp	***	General updates. Elevations added to drawing (replacing AL(01)06)
02.01.20			Bin store added.
21.04.20			Front bedroom windows revised.
11.09.20			Bin store removed (no longer need to distinguish between Type A and B).

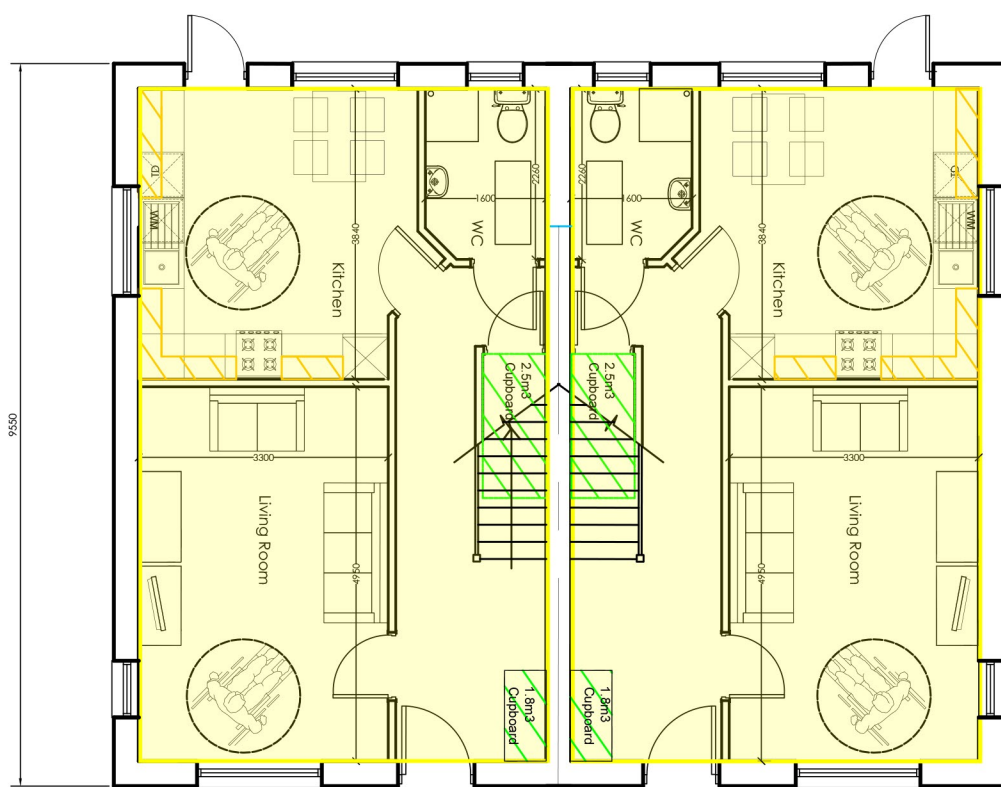
Rev.
A
B
C
D



First Floor Plan
GIA 48 sqm - 505 sqft



Front Elevation



Ground Floor Plan
GIA 48 sqm - 505 sqft

3 Bed House Type



Rear Elevation



Side Elevation

Milton Buff 'London'



1

lstock 'Umbr Sawtooth'



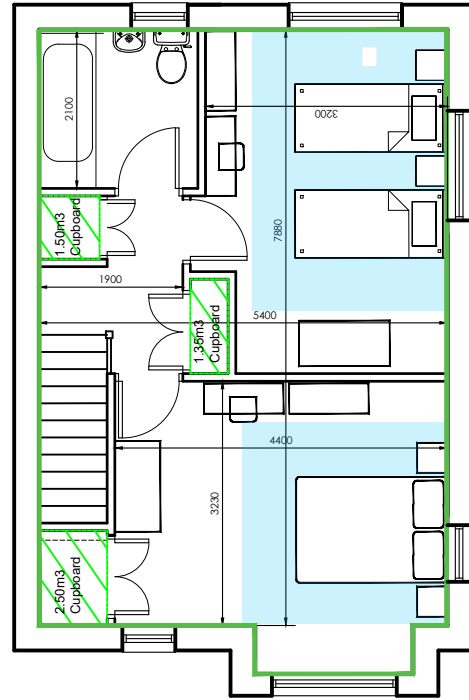
2

Contemporary Matt Black

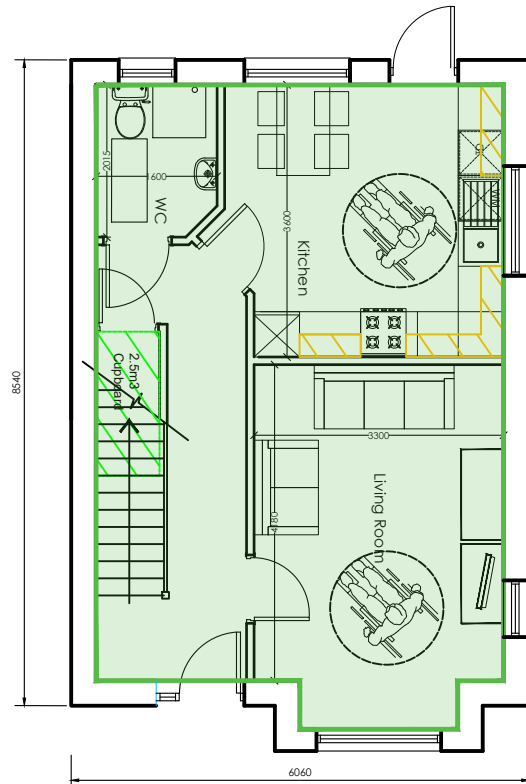
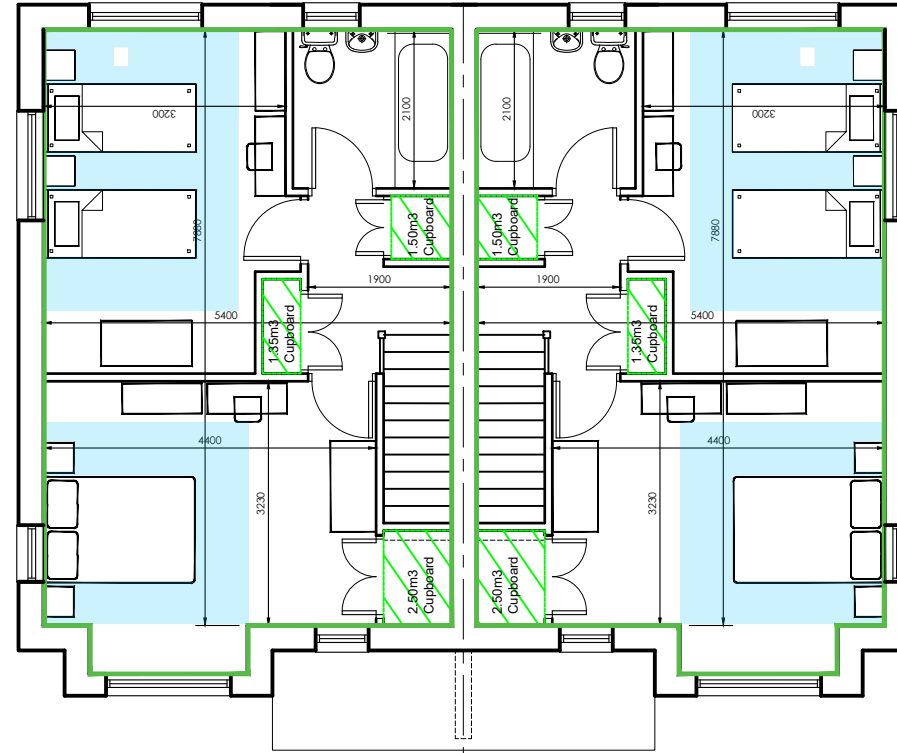


3

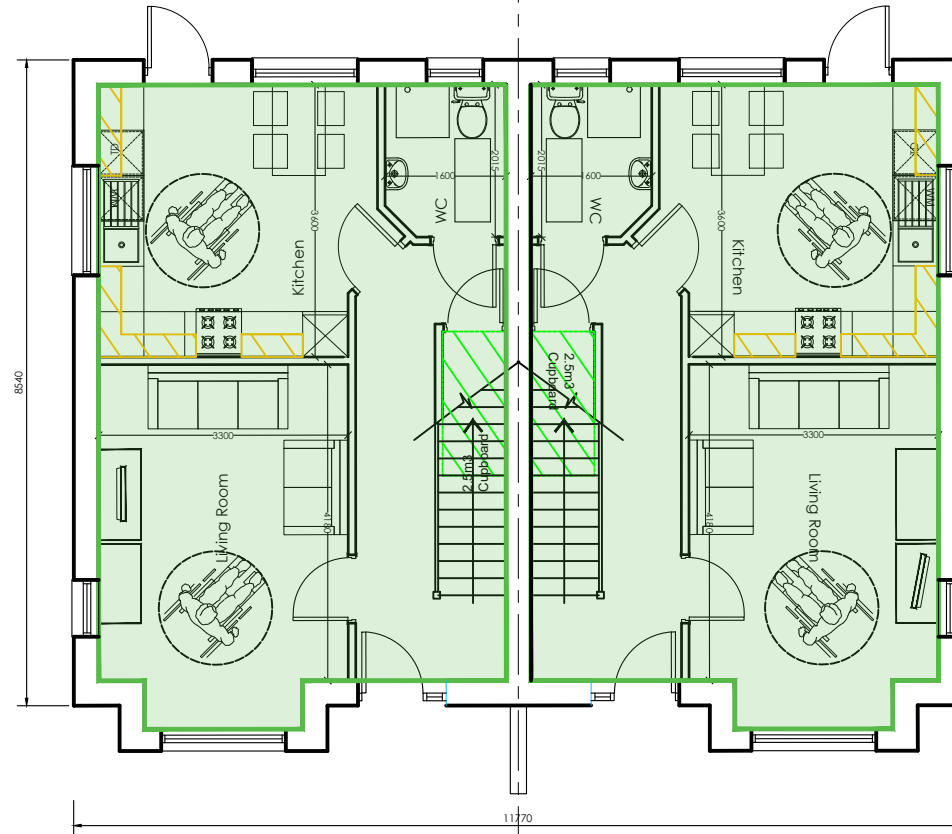
Residential Development at Wakehurst Place, St Mellons		Job No. 18 059
Title 3 Bed House Plans & Elevations		Dwg No. AL(01)05
Date Oct 18	Drawn WS	Scale 1:100 @ A3 1:50 @ A1
		Rev. D
Unit 1A, Compass Business Park, Pacific Road, Cardiff. CF24 6HL		www.cjarchitects.co.uk tel: 029 20452100




First Floor Plan
GIA 43.8 sqm - 579 sqft



Ground Floor Plan
GIA 43.8 sqm - 579 sqft



2 Bed House Type

Residential Development at Wakehurst Place, St Mellons		Job No. 18 059
Title 2 Bed House Plans		Dwg No. Rev. AL(01)07 B
Date Oct 19	Drawn kp	Scale 1:100 @ A3 1:50 @ A1
		
Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 5HL		www.cjarchitects.co.uk tel: 029 20452100

Date	Drawn	Check	Description	Rev.
21/04/2020	***	***	Front bedroom windows revised.	A
28/04/2020	***	***	Amended to reflect site plan.	B
14/08/2020	***	***	Detached type omitted and terrace shown, Plot 5 side window changed.	C
11/09/2020	***	***	Bin stores removed from front.	D



Front Elevation



Side Elevation (Plot 5)



Rear Elevation



Side Elevation (Plot 8)

2 Bed House Type

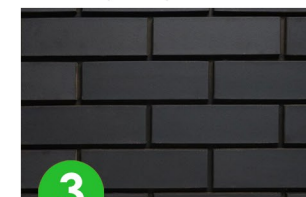
Milton Buff 'London'



lbstock 'Umbra Sawtooth'



Contemporary Matt Black



Residential Development at Wakehurst Place, St Mellons		Job No. 18 059
		Rev. D
Title 2 Bed House Elevations		
Date Oct 19	Drawn kp	Scale 1:100 @ A3 1:50 @ A1
 C² Architects		Town planners Environmental & Urban design
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff. CF24 6HL</small>		<small>www.c2architects.co.uk tel: 029 20452100</small>



7

8

9

10



COMMITTEE DATE: 14/10/2020

APPLICATION No. **20/01306/MJR** APPLICATION DATE: 09/07/2020

ED: **TROWBRIDGE**

APP: TYPE: Full Planning Permission

APPLICANT: Cardiff Council and Wates Residential
 LOCATION: LAND AT BROOKFIELD DRIVE, ST MELLONS, CARDIFF
 PROPOSAL: RESIDENTIAL DEVELOPMENT, LANDSCAPING AND ASSOCIATED INFRASTRUCTURE WORKS

RECOMMENDATION 1 : That detailed consent be **GRANTED** subject to the applicant entering a **Unilateral Undertaking** to provide a financial contribution of £2260 for bins to serve the houses and apartments and £54,160 as an off-site open space contribution as described in paragraph 9.2 and the following conditions:-

1. C01 Statutory Time Limit
2. That this approval is in respect of the following drawings and documents:
 - Site Location Plan 18028 (05) 000
 - Site Development Layout 18028 (05) 100T
 - Apartment Block Plots 20 - 28 GAs 18028 (05) 110B
 - Apartment Block Plots 14-19 GAs 18028 (05) 111A
 - A1 - Plans and Elevations 18028 (05) 120C
 - A2 - Plans and Elevation 18028 (05) 121B
 - Garden Shed Details 18028 (05) 152
 - Enclosures A 1.8m Wall Detail 18028 (05) 153
 - Enclosure A2 1.2m Wall Detail 18028 (05) 154
 - Enclosure B 1.8m Fence Detail 18028 (05) 155
 - Enclosure C Low level Wall and Railing Detail 18028 (05) 156
 - Enclosure D 2.1m Railing Detail 18028 (05) 157
 - Cycle Store SK025
 - Metal bike shed (received 22/9/20)
 - Landscape Strategy BD LA 100 received 14/9/20
 - Soft Landscaping BD LA 101 received 14/9/20
 - Details BD LA 102 received 14/9/20
 - Soil Volumes for Proposed Trees BD LA 103 received 14/9/20
 - Landscape Specifications BD LA 104 received 14/9/20
 - Planning, Design and Access Statement
 - Pollution Hazard Statement
 - Preliminary SW Windes Model
 - Green Infrastructure Statement July 2020
 - Geotechnical and Geo-environmental Site Investigation
 - Transport Statement July 2020
 - Tree Survey, Categorisation and Constraints Report updated

9/4/2020

- Preliminary Ecological Appraisal

Reason: To avoid any doubt and confusion as the approved drawings and documents.

3. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it shall be reported in writing within 2 days to the Local Planning Authority, all associated works shall stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment shall be undertaken and where remediation is necessary, a remediation scheme and verification plan shall be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report shall be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptors (LDP policy EN13).

4. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced (LDP policy EN13).

5. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced (LDP policy EN13).

6. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.
Reason: To ensure that the safety of future occupiers is not prejudiced (LDP policy EN13).
7. No clearance of trees, bushes or shrubs to take place between 1st March and 15th August unless it can be demonstrated to the Local Planning Authority that there are no birds nesting in this vegetation immediately (48 hrs) before works commence.
Reason: To avoid disturbance to nesting birds which are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b).
8. Prior to the commencement of any development on site biodiversity enhancement of the development shall be submitted to and approved by the Local Planning Authority. The enhancement shall also include the provision of 4 x bat boxes for crevice-dwelling bats, 4 x Swift nest boxes, 2 x double House Martin cup, and 2 x House Sparrow terrace (LDP Policy EN8).
Reason: In the interests of biodiversity (LDP policy EN 7)
9. No development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall provide for the disposal of foul water flows and thereafter implemented in accordance with the approved details prior to the occupation of the development.
Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment (LDP policy EN11).
10. No development shall commence until a foul water drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul water flows and thereafter implemented in accordance with the approved details prior to the occupation of the development.
Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

11. No development shall take place until a construction method statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. The statement shall provide for:
 - i. The parking of vehicles of site operatives and visitors
 - ii. Loading and unloading of plant and materials
 - iii. Storage of plant and materials used in constructing the development
 - iv. The erection and maintenance of security hoarding including decorative displays and facilities for public viewing
 - v. wheel washing facilities
 - vi. measures to control the emission of dust and dirt during construction
 - vii. a scheme of recycling/disposing of waste resulting from demolition and construction worksReason: In the interests of highway safety and public amenity
12. Prior to the occupation of any of the dwellings on this site the access road serving them shall be finished to final wearing course and include surface water highway drainage in accordance with details to be submitted to and approved by the Local Planning Authority.
Reason: In the interests of the future occupants of this site.
13. No first floor window to a habitable room shall be created in the side elevations of plots 1, 5 and 10.
Reason. In the interests of privacy (LDP policy KP5).
14. Prior to development commencing on any dwelling details of the external materials of construction and their colour shall be submitted to and approved in writing by the Local Planning Authority.
Reason: In the interests of visual amenities (LDP policy KP5).
15. Prior to development commencing on any house details of the brick wall around the front cycle and bin store, as indicated on drawing SK025 shall be submitted to and approved in writing by the Local Planning Authority.
Reason: In the interests of visual amenities (LDP policy KP5).
16. Prior to development commencing on any house on plots 9-13 details of the balconies shall be submitted to and approved in writing by the Local Planning Authority.
Reason: In the interests of visual amenities (LDP policy KP5).
17. Prior to development commencing on any apartment block details of the secured covered cycle store shall be submitted to and approved in writing by the Local Planning Authority.
Reason: In the interests of visual amenities (LDP Policies KP5 and T1).
18. No development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837:

- An Arboricultural Method Statement (AMS) detailing the methods to be used to prevent loss of or damage to retained trees within and bounding the site, and existing structural planting or areas designated for new structural planting.

The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with.

- A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and landscaping protection methods detailed in the AMS that can be shown graphically.

The development shall be carried out in full conformity with the approved AMS and TPP.

Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses (LDP Policy EN8).

19. Any pruning necessary to implement the planning permission shall be undertaken in accordance with British Standard 3998: 2010 'Tree Work' or any Standard that replaces it.

Reason: The trees are of value in the local environment and should be protected and maintained in good condition (LDP Policy EN8).

In terms of landscaping, suitable conditions are as follows: -

20. Notwithstanding the submitted plans no development shall take place until full details of soft landscaping have been submitted to and approved in writing by the Local Planning Authority. These details shall include:

- A soft landscaping implementation programme.
- Scaled planting plans prepared by a qualified landscape architect.
- Evidence to demonstrate that existing and proposed services, lighting, CCTV, drainage and visibility splays will not conflict with proposed planting.
- Schedules of plant species, sizes, numbers and densities prepared by a qualified landscape architect.
- Scaled tree pit sectional and plan drawings prepared by a qualified landscape architect that show the Root Available Soil Volume (RASV) for each tree.
- Topsoil and subsoil specification for all planting types, including

full details of soil assessment in accordance with the Cardiff Council Soils and Development Technical Guidance Note, soil protection, soil stripping, soil storage, soil handling, soil amelioration, soil remediation and soil placement to ensure it is fit for purpose. The re-use of site won soil and in-situ soil must be based on a soil scientist assessment of the soil in the full knowledge of the landscape types proposed. Where imported planting soils are proposed, full specification details shall be provided, including the parameters for all imported planting soils, a soil scientists interpretive report demonstrating that the planting soil not only meets British Standards, but is suitable for the specific landscape type(s) proposed. The specification shall be supported by a methodology for storage, handling, amelioration and placement.

- Planting methodology and post-planting aftercare methodology prepared by a qualified landscape architect, including full details of how the landscape architect will oversee landscaping implementation and report to the LPA to confirm compliance with the approved plans and specifications.

The submitted details shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved design and implementation programme.

Reason: To enable the Local Planning Authority to determine that the proposals will maintain and improve the amenity and environmental value of the area, and to monitor compliance (LDP Policy EN8).

21. Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced.

Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition 20.

Reason: To maintain and improve the amenity and environmental value of the area (LDP Policy EN8).

22. Prior to development commencing on site details of the means of enclosure along the northern boundary of the site shall be submitted to and approved in writing by the Local Planning Authority and then implemented as approved.

Reason: To safeguard residential amenities (LDP Policy KP5).

23. Prior to development commencing details showing the provision of cycle parking spaces, and appropriate access to them, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained

and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles (LDP policy T1).

24. Notwithstanding the submitted plans, prior to development commencing a revised car parking layout plan shall be submitted to and approved in writing by the Local Planning Authority, to include amended details of the parking spaces on the main access road near the apartments' access. The approved details shall be implemented prior to the development being put into beneficial use.

Reason: To ensure the proposed car parking does not result in operational concerns (LDP policy T5).

25. Prior to development commencing details of the proposed access road junction with Brookfield Drive shall be submitted to and approved in writing by the Local Planning Authority, to also include details of amending the vehicle crossover adjacent to Elmfield Gardens into a dropped footway type access. Those details shall be implemented prior to beneficial occupation.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility (LDP policy T5).

26. Prior to development commencing details of the internal roads and footpaths shall be submitted to and approved in writing by the Local Planning Authority, to include details of the type of road/footway/shared surface that is proposed, clarification/details of the proposed footpath route change to the south, and introducing a footway link between the southern path and the access path adjacent to the eastern elevation of the 3 storey apartments block. Those details shall be implemented prior to beneficial occupation.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility (LDP policy T5).

RECOMMENDATION 2 Prior to the commencement of development, the developer shall notify the Local Planning Authority of the commencement of development, and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure)(Wales)(Amendment) Order 2016

RECOMMENDATION 3 The contamination assessments and the affects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are

chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;

- Unprocessed / unsorted demolition wastes.
- Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
- Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and

- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4 : The applicant is advised that section 3.25 of Planning Policy Wales states that the land use planning system should take account of the conditions which are essential to the Welsh language and in so doing contribute to its use and the Thriving Welsh Language well-being goal. In this context and with regard to the Welsh Language (Wales) Measure 2011, it is recommended that: (1) developments adopt a Welsh name that is consistent with the local heritage and history of the area, (2) during the construction phase, on site marketing information (i.e. text on construction hoardings / flags / banners – as consented) be provided bilingually. Where bilingual signage is provided, Welsh text must not be treated less favourably in terms of size, colour, font, prominence, position or location (it is recognised that Welsh translation does not extend to company / business names). Cardiff Council's Bilingual Cardiff team (BilingualCardiff@cardiff.gov.uk) can provide advice on unique and locally appropriate Welsh names for developments, bilingual marketing / branding and bilingual signage.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The planning application seeks full planning permission for 28 no. affordable residential dwellings. The development will comprise a mixture of 2 and 3 bedroom apartments and 2 and 3 bedroom houses. The proposed schedule of accommodation is as follows;

- 4no. 2 bedroom 4 person houses
- 9no. 3 bedroom 5 person houses

- 3no. 1 bedroom 2 person (WAH) Apartments
- 6no. 1 bedroom 2 person Apartments
- 6no. 2 bedroom 3 Person Apartments

- 1.2 The proposal has a density of some 30 dwellings per hectare.
- 1.3 The southernmost apartments and house are dual aspect and have incorporated bay windows or balconies to the southern façade as necessary to ensure an active frontage to the development. The houses and apartments would have PV roof tiles with light coloured facing brick walls. Most of the windows to the apartments would be surrounded by contrasting brickwork.
- 1.4 Within the northern part of the site there are two sets of short terraces (4 dwellings and 5 dwellings), with plots 1-5 fronting on to the central road, with their rear gardens backing on to Millfield Close; Plots 10-13 front on to Brookfield Drive and will have an amenity area to the front of the properties. The side walls of the dwellings on plots 1 and 5 are close to the gardens of existing dwellings.
- 1.5 Within the southern part of the site there are two block of apartments (unit 14-19 and unit 20-28) which have a central courtyard that provides access to bin storage, cycle storage and private amenity space, and there is a short row of terraces (plots 6-9) to the south-west of the site. All houses have rear garden lengths of at least 10.5m to the boundaries with adjacent properties and have a separation distance of at least 21m between habitable room windows with existing dwellings.
- 1.6 Houses on plots 9-13 would include balconies and first and second floor apartments would also have balconies. No details of the balconies to houses have been submitted
- 1.7 The layout has active frontage to the dwellings, with the central block of apartments being accessible from both the east and west, and the eastern block of apartments accessible from the north, east and west. The apartments would have a communal drying area and amenity space within the courtyard area.
- 1.8 Vehicular access is proposed via Brookfield Drive, which connects to Willowbrook Drive. The proposed access point is approximately midway along the eastern boundary of the site.
- 1.9 Within the eastern part of the site the existing large trees are to be retained, with no development within the defined RPA. The road is 4.8m wide, with a 1.8m footway along one side and a 1m strip on the opposite side of the road. The roads are intended to be shared surfaces. Despite being a shared surface, the accompanying Transport Statement confirms that a refuse vehicle (as specified in the Waste Collection & Storage Facilities SPG (October 2016)) can enter and egress in forward gear without overrunning the 'safe zones' identified on the plan.
- 1.10 The proposed houses have a combined bin and cycle store to the front of their

properties. The development will be served by 28 parking spaces (1 per unit). 22 covered secure cycle spaces are proposed for the apartments. Each of the houses would also have a shed.

- 1.11 Fifteen new trees, hedgerows and shrubs are to be planted. The three largest trees to the front of the site are to be retained.

2. **DESCRIPTION OF SITE**

- 2.1 The site is irregular in shape and measures approximately 0.93 hectares (1.54 acres). It is largely open with the exception of four trees located within the site boundaries which are subject to TPO. (A category B tree in the centre of the site would have to be removed). There is an area of hardstanding remaining where a play area used to be located, however the vast majority of the land is grassland.
- 2.2 The site lies within flood zone A as defined by Natural Resources Wales' Development Advice Map. (By their definition, the site is considered to be at little or no risk of fluvial or coastal/tidal flooding).
- 2.3 There aren't any listed buildings or scheduled ancient monuments within close proximity of the site, with the nearest listed building being Bethania Evangelical Church, which is over 450m away. The proposals are not considered to affect the setting of the listed building.
- 2.4 The applicant says that the site and its immediate surroundings suffer from instances of anti-social behaviour, with evidence of arson to the TPO trees within the site.
- 2.5 There is a Public Right of Way (PRoW) along the western boundary of the site, albeit, it does not connect to any other footpaths within the vicinity. This PRoW originally connected to Tarwic Drive, but was stopped up by the council. As such, this PRoW is proposed to be extinguished subject to planning approval at the site.
- 2.6 The site is 500m in a straight line from a District Centre to the north east, 250m from Oakfield Primary School to the north, less than 200m from playing fields to the east and less than 100m from children's play facilities to the south west. There is a bus stop on Willowbrook Drive 100m from the entrance to the application site. There is a footpath which runs east-west close to the southern portion of the site.

3. **SITE HISTORY**

- 3.1 No relevant planning history on this site.

4. **POLICY FRAMEWORK**

- 4.1 It is considered that the following LDP policies are relevant to this application:-

KP3(b) Settlement Boundaries
KP5 Good Quality and Sustainable Design;
KP6 New Infrastructure
KP7 Planning Obligations
KP8 Sustainable Transport
KP13 Responding to Evidenced Social Needs
KP14 Healthy Living
KP15 Climate Change
H3 Affordable Housing
EN8 Trees, Woodlands and Hedgerows
EN11 Protection of Water Resources
EN12 Renewable Energy and Low Carbon Technologies
EN13 Air, Noise, light Pollution and Contaminated Land
T1 Walking and Cycling
T5 Managing Transport Impacts
C2 Community Safety/Creating Safe Environments;
C4 Provision for Open Space, Outdoor Recreation and Sport
C7 Health
W2 Provision for Waste Management Facilities in Development.

4.2 It is considered that the following SPG policies are relevant to this application:-

Green Infrastructure SPG
Managing Transport Impacts
Residential Design Guide
Waste Collections and Storage Facilities
Planning for Health and Wellbeing

5. **INTERNAL CONSULTATIONS**

5.1 The Tree Officer says that following the submission of revised landscaping details that:

I have no objections to the revised landscaping details but note that the *Betula pubescens* will only be appropriate if the planting soils in the rain garden it will be located within are not subject to extremes of dryness or wetness – this tree will tolerate moist but oxygenated soils but will not grow well in soils that are very dry or that are regularly inundated or prone to anaerobism. *Gleditsia triacanthos* var. *inermis* 'Draves' might be appropriate if the soils are likely to be prone to extremes of wetness and dryness. Finalised landscape specifications and tree pit sections are required off the back of a Soil Resource Survey and Plan, so these should be submitted upfront or at discharge of conditions stage, once the SRS and SRP has been prepared.

There remain some outstanding questions concerning tree protection and I understand the project arboriculturist is to comment in this regard? I'm not sure when this commentary will be forthcoming but it should be prior to reaching a recommendation (i.e. it cannot be left to discharge of conditions).

5.2 Shared Regulatory Services states:
I would like to provide comments in relation to potential contamination issues on behalf of SRS: Environment Team:-

Terra Firma (Wales) Ltd, January 2020; Geotechnical and Geoenvironmental Site Investigation Report Ref: 15694.

The above report includes a contamination assessment of the proposed development, including site works. The assessment indicates there are no significant contaminants and the site is suitable for the proposed use. However the potential for contamination cannot be ruled out. I would therefore advise the use of the 'unforeseen contamination' condition.

Should there be any importation of soils to develop the garden/landscaped areas of the development, or any site won recycled material, or materials imported as part of the construction of the development, then it must be demonstrated that they are suitable for the end use. This is to prevent the introduction or recycling of materials containing chemical or other potential contaminants which may give rise to potential risks to human health and the environment for the proposed end use.

Shared Regulatory Services would request the inclusion of the following conditions and informative statements in accordance with CIEH best practice and to ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan:

CONDITIONS

PC14D. CONTAMINATED LAND MEASURES – UNFORESEEN CONTAMINATION

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15A IMPORTED SOIL

Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15B IMPORTED AGGREGATES

Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15C USE OF SITE WON MATERIALS

Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

ADVISORY/INFORMATIVE

R4 CONTAMINATION AND UNSTABLE LAND ADVISORY NOTICE

The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;
- (ii) ensuring that any imported materials (including, topsoils, subsoils,

aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;

- Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

5.3 (a) The Ecologist states:

This application is supported by a Green Infrastructure Statement, which is welcomed in the light of Policy KP16, and the GI SPG which supports it. However the GI Statement should have been informed by a Preliminary Ecological Appraisal and also an Ecological impact Assessment of the site.

The GI Statement sets out how planting and landscaping will be used to augment the green infrastructure of the site, which as above is to be welcomed, but does not consider the impact of the proposals upon protected species.

I visited the site on 14th July 2020, and have the following concerns.

Bats - Tree T4, which is to be removed, has a number of holes which could support roosting bats (please see attached image for examples), so any trees which are to be removed or have significant limbs or deadwood removed should be surveyed for bats. I recognise that I did not refer to a bat survey in my pre-app comments, but that was before I had the benefit of viewing T4 up-close. Also the Tree Survey Report refers to the removal of broken limbs and of deadwood in the trees on site, and these are features which could harbour bats, so bat surveys should take place if these recommendations are to be implemented.

Reptiles - The grassland has been left uncut this year, and in the west and north of the site it forms an interface with the boundary scrub. Please see attached images. This is an ideal habitat for widespread reptile species such as Slow-

worms, which are protected by the Wildlife and Countryside Act. Having walked over the site I got the impression that this is the first year that the grass had been left uncut, but even so, the south-facing scrubby edge could have rapidly been colonised by Slow-worms from within the scrub and nearby gardens. The fallen tree also forms a features which reptiles could hide under or bask on.

Therefore my advice is that a reptile survey should be undertaken using an appropriate methodology at an appropriate time of year. I made this comment in my pre-app response of 16/01/20. Some guidance in this respect is provided in section 1.5.6 of the Ecology and biodiversity Section of the GI SPG. If reptiles are found on site, they would either need to be accommodated on site or translocated to a suitably-managed site nearby.

Nesting birds – where bramble scrub and trees or branches need to be removed, this may affect nesting birds, so we should attach our usual nesting bird condition:-

Condition: No clearance of trees, bushes or shrubs to take place between 1st March and 15th August unless otherwise approved in writing by the Local Planning Authority. This approval will be given if it can be demonstrated that there are no birds nesting in this vegetation immediately (48 hrs) before works commence.

Reason: To avoid disturbance to nesting birds which are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b), it is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built.

Enhancements

A statutory duty as set out in section 6 of the Environment (Wales) Act 2016 has been introduced which requires public bodies such as Cardiff Council to seek to maintain and enhance biodiversity, and in doing so to promote the resilience of ecosystems, in the exercise of their functions.

Furthermore, section 5.2.8 of Planning Policy Wales states that:- ‘The planning system has an important part to play in meeting biodiversity objectives by promoting approaches to development which create new opportunities to enhance biodiversity, prevent biodiversity losses, or compensate for losses where damage is unavoidable.’

In his letter to Heads of Planning of 23/10/19, the Chief Planner emphasised this point with the following:-

‘Planning Policy Wales (PPW) 10 sets out that “planning authorities must seek to maintain and enhance biodiversity in the exercise of their functions. This means that development should not cause any significant loss of habitats or populations of species, locally or nationally and must provide a net benefit for biodiversity” (para 6.4.5 refers).’

Any application should demonstrate how this will be the case, based on an understanding of what is present, as referred to in the need for a PEA / EclA above.

In terms of specific enhancement features, nesting or roosting opportunities for birds and bats should be incorporated into new build in accordance with the advice given in 'Designing for Biodiversity: A Technical Guide for New and Existing Buildings, Second Edition. RIBA Publishing, London. Gunnell, K. et al., 2013', or most recent subsequent edition thereof. More specific details of appropriate levels of provision of nesting/roosting opportunities are given in the TCPA's 'Biodiversity Positive: Eco-towns Biodiversity Worksheet 2009'. With these documents in mind, I would say that an appropriate level of enhancement provision across the whole of this development would be:-

- 4 x bat boxes for crevice-dwelling bats, and
- 4 x Swift nest boxes, and
- 2 x double House Martin cup, and
- 2 x House Sparrow terrace

The applicant's ecologist can advise on the make and model and suitable positioning of these features. Bat / bird boxes such as these are readily available commercially, are inexpensive, and can be tailored to the style and colour of the finish of the buildings. Features which are integrated into the buildings rather than attached to the outside are preferable as they are more secure in the long-term and less prone to interference by the public.

Other enhancements should include using a species-rich wetland grassland seed mix in the SuDS basins.

(b) And (following submission of the Preliminary Ecological Appraisal stated):

I have considered the PEA submitted with this application, and am satisfied with the assessment that the trees on site which need to be removed have negligible bat roost potential.

However, there is an issue with the assessment of impacts upon reptiles, in that the PEA was conducted last year when the majority of the site was tightly mown. This led to a conclusion that the habitats on site were not suitable or extensive enough for these species, and so the site was of negligible value. This contrasts with the situation this year, whereby as shown in the attached images there is scrubby south-facing edge grading into rough grassland, which is ideal reptile habitat on the face of it.

In my previous response I gave the view that this year was the first year that the grass had been left uncut, based upon the absence of grassy tussocks and the lack of a thatch layer. This proved to be the case, so now the question is whether reptile species such as Slow-worms could have colonised or exploited this habitat since it has been left uncut. This would require consideration of adjacent habitats and connectivity.

Therefore we should invite the applicant's ecologist to re-visit the site and make this assessment based upon current conditions and surrounding habitat suitability. If the case is made that a reptile survey is still not justified, then I would ask that a precautionary reptile mitigation strategy is produced, in order to avoid harm to these species during site clearance.

Section 5.2 of the PEA set out a series of mitigation and enhancement measures, which I support. We should use a condition to ensure that the applicant implements them, together with the measures that I have asked for in my previous response.

(c) And further stated:

The submitted outline mitigation strategy dated 15th Sept 2020 is adequate, and we should attach a condition to any consent that a detailed mitigation strategy should be produced based upon the habitat suitability for these species at the time of writing that detailed strategy, rather than the habitat suitability at the time the PEA was undertaken.

5.4 The Public Rights of Way Officer states:

There is a Public Right of Way footpath, St Mellons No.2, which will be built upon. This footpath is not accessible to the north of the proposed development site therefore we would require the section of the footpath within the red line plan to be stopped up by a Legal Order under Section 257 Town and Country Planning Act. There is no reasonable diversion which would be appropriate therefore the stopping up of the path would be deemed necessary. Improvements to path network nearby to compensate for the loss should be considered as part of the development proposals.

If consent to the application is given, the applicant is required to apply for the Legal Order prior to works commencing. Please note Legal Orders take 6-8 months to process.

(The applicant has been advised of the PROW officer's comments).

5.5 The Waste Officer states:

Houses – 13 dwellings

The storage at the front of each property has been noted. Please ensure that these individual storage areas are large to accommodate the following receptacles.

- 1 x 140 litre bin for general waste
- 1 x 240 litre bin for garden waste
- 1 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling
- 1 x 30 litre bin for glass waste

Apartments – 15

Each bin store will require the following for waste and recycling collections:

- 1x 1100L bin for general waste
- 1 x 1100L bin for recycling

- 1 x 240 litre bin for food waste

Communal bin stores should have double doors that open outward with retainer. Surfaces should be smooth and impervious to permit cleaning and the floor must be laid to create suitable drainage. Adequate artificial lighting must be provided and good natural ventilation if completely enclosed.

The developer is advised; as bulk containers are specified for this development, access paths to the kerbside for collection should be at least 1.5 metres wide, clear of obstruction, of a smooth surface with no steps. Dropped kerbs should also be provided to ensure safe handling of bulk bins to the collection vehicle.

Please note, the collection method utilised by Cardiff Council will likely change in the future which could result in different/more receptacles being required for the storage of waste between collections. In light of this, the bin store areas should allow a degree of flexibility in order to be able to adapt to potential collection changes.

A designated area for the storage of bulky waste is now a compulsory element of all communal bin stores. The City of Cardiff Council offers residents a collection service, for items which are too large to be disposed of in general waste bins (ie fridges, televisions, mattresses etc). There must be a designated area where these items can be left, with appropriate access to allow Council collection crews to remove. This area will prevent unwanted waste being left in the communal bin store or other areas, thereby improving the aesthetics of the site. For a development of this size the recommended storage area is 5m².

Access

Vehicle tracking has been noted and is acceptable.

All road surfacing must have suitable foundations to withstand the weight of a refuse collection vehicle (27 tonnes). Block paving is not appropriate as it can break/sink over time, particularly where vehicles are manoeuvring.

Financial Contributions

The following financial contributions will be required for bins to serve the houses and apartments: £2260

General comments

Please refer the agent/architect to the Waste Collection and Storage Facilities Supplementary Planning Guidance for further relevant information.
www.cardiff.gov.uk/wasteplanning

5.6 The Transport Officer states:

Transport comments on this application (additional details) are set out below. I originally gave comments on this scheme at pre-app (PA/19/00109/MJR). Informal comments only were made when this full application was originally submitted, as it became apparent that various design changes were required.

Cycle Parking

Our original concerns with the cycle parking for houses was that it meant the mid-terrace properties had to wheel their bikes through the house, which is not ideal. This has been dealt with by a revised approach regarding cycle parking, involving the provision of a metal cycle shelter (with suitable screening/design) adjacent to the front paths. I have some concerns with this, namely the 'lip' shown at the bottom of the unit meaning bikes have to be lifted, and the size of them is constrained. Given their design it means that to access the furthest bike in the other bikes need to be lifted out, which is not ideal from an accessibility perspective, and this is more of an issue for the 3-bed houses that need to accommodate an extra cycle. With consideration of the changes that have been made from the original housing cycle parking proposal, it is considered that the principle of the revised cycle parking is OK, but changes would subsequently be needed involving the type and dimensions – it is possible that the position of the grass strips the other side of the car parking spaces could be partly amended to enable better cycle parking facilities.

The parking for the flats is located in the secure area between the two blocks that also houses the bin storage and drying area. The plan indicates that 21 spaces need to be provided (22 are marked), although if 9 x 2 beds and 6 x 1 beds are proposed then actually 24 spaces are needed. The current drawing shows 1m spacings for the cycle stands (it is assumed these will be Sheffield type) and it does appear there would be room for an additional space. It would have been good if the design could have incorporated a direct (secure) connection from the path to the south into the cycle parking, to reduce the detour required for cyclists.

The above cycle matters can be dealt with via condition.

Car Parking

The overall amount of car parking proposed is within the SPG maximums. However, I do have issues with the way that parking spaces 19 and 24 (and to a lesser extent 18 and 25) are drawn at a location involving them manoeuvring in/out right on the 'bellmouth' of the parking court. There do therefore need to be some revisions to the car parking, although I see that this can be managed via a condition. In addition, further detailed design matters will be addressed via the Section 38 process.

Highway Access

I am OK with the principle of the new highway access on Brookfield Drive. This would be subject though to a suitable highway agreement (dealt with via a Recommendation) and would also be a planning condition. As set out at pre-app stage, I would like the highway access works to include the introduction of a dropped footway (in place of vehicle crossover) at Elmfield Close to the south-east, in order to maximise pedestrian accessibility.

Internal roads and paths

It is not clear what form of highway/footway split is proposed for the internal roads. The layout is showing a sub-standard 1m 'footway' on the northern side of the main access road, and there are 3 separate private driveway areas at the

end of the estate roads that are marked as shared surface (it may be that all of the internal roads are intended as shared surface?). Whilst some of these matters would be picked up via the Section 38 (likely including that the 'bellmouths' will be dropped footways instead) a planning condition can also deal with some of the detail.

I would like to see a footpath connection leading south from the path at the rear of the 3 storey flats, in order to provide a shorter walk distance from the south for some of those dwellings. It may be this requires a slight amendment to its location to not be immediately adjacent to windows. In addition I am unclear with the labelling to the south of the site indicating that an amended footway route is proposed. These matters can be clarified/addressed by condition.

Conditions

Cycle Parking

Prior to development commencing details showing the provision of cycle parking spaces, and appropriate access to them, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles.

Car Parking Spaces

Notwithstanding the submitted plans, prior to development commencing a revised car parking layout plan shall be submitted to and approved in writing by the Local Planning Authority, to include amended details of the parking spaces on the main access road near the apartments access. The approved details shall be implemented prior to the development being put into beneficial use.

Reason: To ensure the proposed car parking does not result in operational concerns.

Access Junction

Prior to development commencing details of the proposed access road junction with Brookfield Drive shall be submitted to and approved in writing by the Local Planning Authority, to also include details of amending the vehicle crossover adjacent to Elmfield Gardens into a dropped footway type access. Those details shall be implemented prior to beneficial occupation.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility.

Internal roads and footpaths

Prior to development commencing details of the internal roads and footpaths shall be submitted to and approved in writing by the Local Planning Authority, to include details of the type of road/footway/shared surface that is proposed, clarification/details of the proposed footpath route change to the south, and consideration of introducing a footway link between the southern path and the access path adjacent to the 3 storey apartments block. Those details shall be

implemented prior to beneficial occupation.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility.

The Transport Officer has no objection subject to conditions and these are included as proposed conditions 22-25(inc).

5.7 The Parks Officer states:

Design Comments

The scheme is largely similar to that previously discussed at a meeting with Housing and Drainage a few months ago. In terms of the existing open space presence of windows on the end face of the properties should provide informal supervision of the area. ABC Park suffers from considerable motorbike nuisance and other antisocial behaviour, partly because many of the existing houses back onto it and offer no informal surveillance.

A strip of open space along the southern edge of will be lost as a result of the development, but the benefits of improved surveillance should outweigh this in an area which is only used as a footpath link, which is retained. The main area occupied by the development was already Council Housing land and although visually forming part of the open space it had no defined use once the play area was relocated to another part of the site, although protection of the trees is of paramount importance. A number of trees had been damaged by arson.

There were concerns about having balconies where they could potentially provide shelter for anti-social behaviour but given the hedge and other planting this should discourage the problem, although I'm unclear from the drawing what hedging species are proposed. The main courtyards are screened from the park by 2.1m walls, but there are sections with lower walls and railings which will allow views through, albeit partly obscured by hedging.

Further details will be needed of the barriers between the development and park.

The previous discussion was that the path may be relocated to enable the suds features to be located between this and the new housing to provide more defensible space. However the current proposals have retained the path in the same location, with the main attenuation features south of this but a narrow Suds feature along the boundary of the development. If Housing consider that this provides adequate protection for the new housing given the problems of anti-social behaviour then Parks would accept this, although following construction Housing and Parks would need to liaise to address any issues.

Detailed designs of the SuDS basins within the open space have yet to be confirmed with Parks. Clarity will be needed on the final design, responsibility for maintenance, and how this will be funded. Details of maintenance operations for the SuDS features will be required should these be adopted and maintained by the Council.

Responsibility for maintenance for landscape within the main development, including boundary planting will also need to be confirmed.

Open Space Provision

These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council's approach to open space provision.

The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.

Based on the information provided on the number and type of units, I have calculated the additional population generated by the development to be 52.2. This generates an open space requirement of 0.127 ha of on-site open space based on the criteria set for Housing accommodation, or an off-site contribution of £54,160. I enclose a copy of the calculation

As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of new open space, or the design, improvement and/or maintenance of existing open space in the locality, given that demand for usage of the existing open spaces would increase in the locality as a result of the development.

The use of S106 contribution from this development will need to satisfy CIL and the current distance requirements set out in the 2017 Planning Obligations SPG – play areas 600m (not applicable to student and sheltered accommodation), informal recreation 1000m, and formal recreation 1500m, measured from edge of the site.

In the event that the Council is minded to approve the application, I assume it will be necessary for the applicant and the Council to enter into a Section 106 Agreement to secure payment of the contribution.

Consultation will take place with Ward Members to agree use of the contribution, and this will be confirmed at S106 stage. The closest areas of recreational open space are ABC Park, Cath Cobb Recreation Ground, Cath Cobb Woods, Heritage Park, Orchard Park, Greenway Road, Caerleon Park and Coleford Drive open space, Heol Maes Eirwg and Hendre Lake Park.

6. **EXTERNAL CONSULTATIONS**

6.1 NRW state:

We have no objection to the proposed development as submitted and provide the following advice.

Flood Risk

We note you consulted NRW for the reason of flood risk. However, according to our maps, the application site is not located in Zone C of the development advice maps contained in TAN15 and/or zones 2 or 3 of NRW Flood Zone Maps. As such we have no comments regarding flood risk.

Land Contamination and Controlled Waters

We consider that the controlled waters at this site are not of the highest environmental sensitivity, therefore we will not be providing detailed site-specific advice or comments with regards to land contamination issues for this site.

It is recommended that the requirements of Planning Policy Wales and the Guiding Principles for Land Contamination (GPLC) should be followed.

These comments are based on our assumption that gross contamination is not present at this location. If, during development, gross contamination is found to be present at the site the Local Planning Authority may wish to re-consult Natural Resources Wales.

Natural Resources Wales recommends that developers should:

1. Follow the risk management framework provided in CLR11, Model Procedures for the Management of Land Contamination, when dealing with land affected by contamination.
2. Refer to the Environment Agency's 'Guiding Principles for Land Contamination' for the type of information that we require in order to assess risks to controlled waters from the site. The Local Authority can advise on risk to other receptors, such as human health.
3. Refer to our groundwater protection advice on www.gov.uk

European Protected Species

Since consulting us on the application we note you have uploaded additional information to your website but did not advise us of this. As we were unaware of this information until today, we have not considered it in our response. This additional information relates to ecology. If your ecologist requires our advice on this information please reconsult us.

Other Matters

Our comments above only relate specifically to matters included on our checklist, Development Planning Advisory Service: Consultation Topics (September 2018), which is published on our website. We have not considered potential effects on other matters and do not rule out the potential for the proposed development to affect other interests.

We advise the applicant that, in addition to planning permission, it is their responsibility to ensure they secure all other permits/consents/licences relevant to their development. Please refer to our website for further details.

- 6.2 South Wales Police have no objection to this development and have been involved in pre application discussions with developers.

South Wales Police welcome the fact that the development is to be built to Secured by Design standards which have been shown to reduce crime risk by up to 75%.

Further information on Secured by Design can be found on www.securedbydesign.com

6,3 Welsh Water states:

We would request that if you are minded to grant Planning Consent for the above development that the Conditions and Advisory Notes provided below are included within the consent to ensure no detriment to existing residents or the environment and to Dwr Cymru Welsh Water's assets.

ASSET PROTECTION

The proposed development site is crossed by a public sewer with the approximate position being marked on the attached Statutory Public Sewer Record. In accordance with the Water Industry Act 1991, Dwr Cymru Welsh Water requires access to its apparatus at all times in order to carry out maintenance and repairs. However, having regard to the Proposed Site Layout (drawing: 18028 (05) 100 Q, it appears the proposed development would be situated within the protection zone of the public sewer measured 3 metres either side of the centreline. It may be possible to divert the sewer if the developer applies under Section 185 of the Water Industry Act and we request that they contact us to discuss and consider possible solutions. Alternatively, we recommend the proposed development is repositioned to accommodate for the required protection zone. In the first instance, it is recommended that the developer carry out a survey to ascertain the location of this sewer and establish its relationship to the proposed development. Notwithstanding this, if you are minded to grant planning consent prior to the amendment of plans demonstrating how the public sewer will remain protected, we would request that the following Conditions and Advisory Notes are included to ensure no detriment to existing residents or the environment and to Dwr Cymru Welsh Water's assets:

Condition

No development shall commence until a foul water drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul water flows and thereafter implemented in accordance with the approved details prior to the occupation of the development. Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

SEWERAGE

We can confirm capacity exists within the public sewerage network in order to receive the domestic foul only flows from the proposed development site. Surface Water Drainage As of 7th January 2019, this proposed development is subject to Schedule 3 of the Flood and Water Management Act 2010. The

development therefore requires approval of Sustainable Drainage Systems (SuDS) features, in accordance with the 'Statutory standards for sustainable drainage systems – designing, constructing, operating and maintaining surface water drainage systems'. It is therefore recommended that the developer engage in consultation with [Council Name], as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Please note, Dwr Cymru Welsh Water is a statutory consultee to the SAB application process and will provide comments to any SuDS proposals by response to SAB consultation.

Advisory Notes The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dwr Cymru Welsh Water on 0800 085 3968 to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

SEWAGE TREATMENT

Dwr Cymru Welsh Water has no objection to the proposed development.

WATER SUPPLY

A water supply can be made available to serve this proposed development. The developer may be required to contribute, under Sections 40 - 41 of the Water Industry Act 1991, towards the provision of new off-site and/or on-site watermains and associated infrastructure. The level of contribution can be calculated upon receipt of detailed site layout plans which should be sent to the address above.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

(This response has been forwarded to the applicant)

6.4 GGAT states:

Information in the Historic Environment Record, curated by this Trust, shows that there are no known archaeologically significant sites within, or in close proximity to, the proposed development. Similarly, a review of historic Ordnance Survey mapping of the area depicts no archaeologically

significant structures or features. Important structures dating to the Roman period have been discovered to the southeast of the proposal, but there is no suggestion they extend into the current development area.

As a result, there is unlikely to be an archaeological restraint to this proposed development and consequently, as the archaeological advisors to your Members, we have no objections to the positive determination of this application. The record is not definitive, however, and features may be disturbed during the course of the work. In this event, please contact this division of this Trust.

7. **REPRESENTATIONS**

- 7.1 Local Members have been consulted. No representations have been received to date but will be reported to the Planning Committee if received prior to the meeting.
- 7.2 The proposal was advertised in the press and by site notices as a major application.
- 7.3 Neighbouring occupiers were consulted by letter.
- 7.4 A resident of Millfield Close has submitted the following comments:
 - 1. From the drawings it seems to be suggested that the houses being built next to our fence will directly overlook our house. As there are going to be windows on the side of the new build, this will definitely affect our privacy.
 - 2. As far as I can see there is no indication on any of the documents about what will happen to the boundary between our house and the new build. Will the existing boundary need to be changed? and if so what will it be?

8. **ANALYSIS**

- 8.1 The application site falls within the settlement boundary as defined by the LDP proposals map and has no specific designation or allocation.
- 8.2 Given the application site's context, located in close proximity to St. Mellons District Centre and surrounded by housing, the application raises no land use policy concerns.
- 8.3 LDP Policy C4 requires the protection of open space unless certain criteria are met such as the open space having no significant functional or amenity value, the open space is of no significant quality, the open space has no significant nature or historic conservation importance. In this case the Parks Officer has submitted no objection to this proposal and the aforementioned criteria are considered to be applicable. The Parks Officer requires a Section 106 contribution.

- 8.4 Concerns were raised with the applicant over certain aspects of the development when originally submitted. The applicant has addressed those issues through the submission of amended plans responding as follows:

Windows on side gable following comments from local resident.

- The elevation plans have been updated to omit the windows on the side gable of plot 10 that were causing concern to the existing adjoining occupier. The window to the ground floor has been retained as the window does not result in any loss of privacy but provides much needed light to the home office which this window serves.

Bathroom windows

- The window width has been increased as requested.

Cycle Store/ Bin Store

- Where required the cycle and bin stores have been relocated to the front of the properties (plots 1-13). The stores have been carefully configured to provide sufficient storage. As such it is considered that the new arrangement will provide adequate bin and cycle storage whilst ensuring the character and appearance of the proposed development.

Boundary Treatment (Flats courtyard adjoining the Park)

- The boundary treatment to the flat courtyard which is adjacent to the Park has also been revisited. The boundary treatment is now a combination of brick wall, railings and hedgerow. The proposals for this aspect of the development have been reconsidered following issues of anti-social behaviour on other sites. It is considered that a combination boundary treatment coupled with landscaping will provide an effective treatment that will ensure the amenity of the new occupiers. Furthermore the courtyard area still has a good level of natural surveillance as the area is overlooked by the flats.

Other comments

- Landscape details have been amended to address the comments originally received from the Council's Tree officer.
- In light of the above the drainage plan has also been amended and is included as part of the resubmission.
- Contact has also been made with the Council's Public Rights of Way Officer and the process for stopping up the public right of way is being reviewed and will be commenced shortly.

- 8.5 The number, size and appearance of the proposed dwellings and their layout now raises no fundamental planning issues and complies with the Residential

Design Guide SPG following amendments to the scheme. Windows have been removed from the side elevations of the proposed houses that would have overlooked existing dwellings to ensure that privacy is protected and this would be further controlled by condition 13. Conditions 14, 15 and 16 would control elements associated with the appearance of the dwellings.

- 8.6 An ecological study submitted with the application recommended 2 bat boxes and 2 nest boxes. No evidence of bats or nesting birds was identified. The report concludes that "Overall, it is assessed that the redevelopment of the site will benefit bats by greening the site with new garden habitats associated with the proposed dwellings and additional landscape planting along the southern and western boundaries." In view of the Council's Ecologist's comments condition 8 is recommended which require further study and more enhancements.
- 8.7 It is acknowledged that a category B tree would need to be removed to facilitate this development of affordable housing but 14 new trees are to be planted with additional hedgerows and shrubs. The applicant has submitted revised landscaping details to address the Tree Officer's initial response nevertheless it is considered that Conditions 18 -21 (inc) are necessary to cover landscaping matters. It should also be noted that the Tree Officer now has no objection.
- 8.8 The Transport Officer has no objection subject to conditions and these are included as proposed conditions 23-26(inc).
- 8.9 Consultees' comments have been incorporated as conditions within Recommendation 1 above and their advisory notes forwarded to the applicant.
- 8.10 There have been no objections from consultees. A local resident queried the means of enclosure and this can be controlled by condition 22 as the full length of the existing means of enclosure to the northern boundary is partly obscured by vegetation.
- 8.11 Well-Being of Future Generations Act 2016 - Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision. The provision of affordable housing in a sustainable location is considered a positive measure in addressing wellbeing objectives.
- 8.12 Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed

decision. The Police have no objections.

- 8.13 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

9. **CONCLUSION**

- 9.1 In conclusion, it is considered that the construction of much needed affordable housing in this sustainable location, within walking distance of a range of facilities, and close to a bus route can be granted subject to a Unilateral Undertaking and conditions.
- 9.2 The Unilateral Undertaking contribution is to include £2260 for bins to serve the houses and apartments identified by the Waste Officer and £54,160 as an off-site open space identified by the Parks Officer for use following consultation between the Parks Officer with Ward Members to agree use of the contribution. The closest areas of recreational open space are ABC Park, Cath Cobb Recreation Ground, Cath Cobb Woods, Heritage Park, Orchard Park, Greenway Road, Caerleon Park and Coleford Drive open space, Heol Maes Eirwg and Hendre Lake Park.



This drawing must not be scaled.
 Figured dimensions and levels to be used.
 Any inaccuracies must be notified to the architect.
 Detail drawings and large scale drawings take precedence over smaller drawings.

Rev:	Chk'd:
-	
First Issue for PAC 20.02.19	

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PRELIMINARY	<input checked="" type="checkbox"/>
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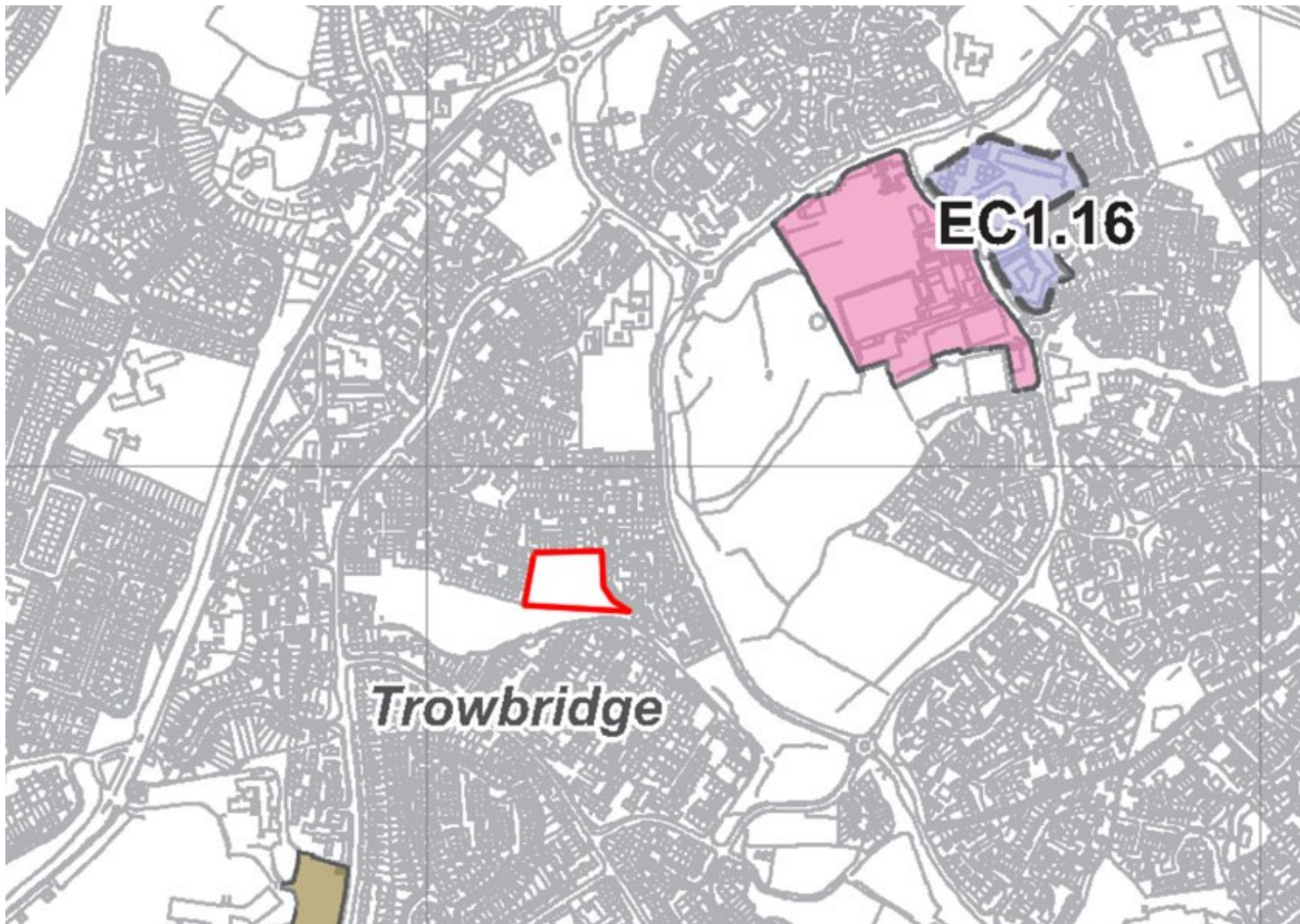
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 Tel: +44 (0)33 33 201 001 www.powelldobson.com

Contract: **Cardiff Living**
 Residential Development at Brookfield Drive
 Title: **Site Location Plan**

Drawing No.	Rev.
18028 (05) 000	-

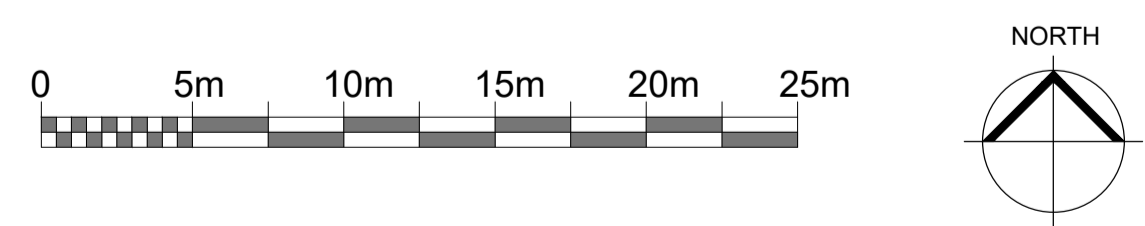
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 Date: January 2020
 Drawn: PG
 Checked: -

THE LDP PROPOSALS MAP





- Boundary Treatments**
- Type A - 2100mm high facing brick wall
 - Type A2 - 1200mm high facing brick wall
 - - - Type B - 1800mm high Close Boarded fence
 - Type C - low Railing
 - - - Type D - 2100mm high Railing
 - - - Application Boundary



Figured dimensions and levels to be used. Any inaccuracies must be notified to the architect. Detail drawings and large scale drawings take precedence over smaller drawings.

Rev:	Chk'd:	Rev:	Chk'd:	Rev:	Chk'd:
H	M	M	-	T	
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PRELIMINARY	✓
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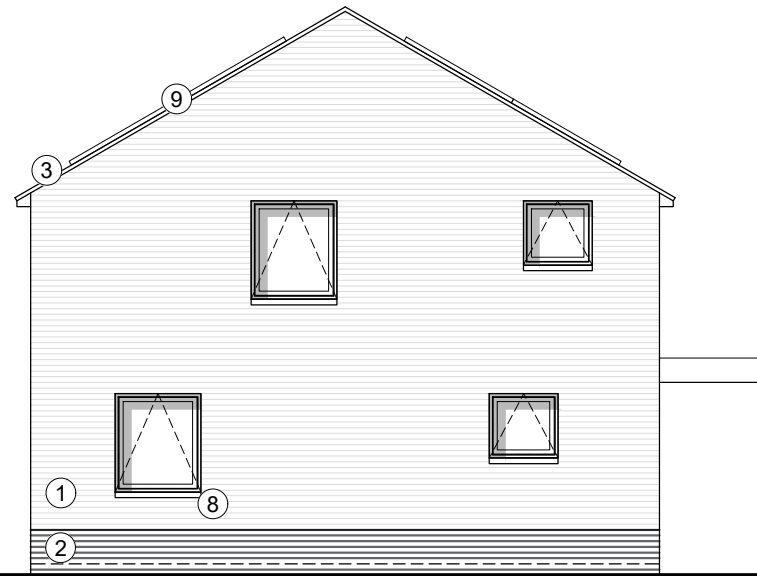
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18028 (05) 100	T

Contract: Cardiff Housing Partnership
 Brookfield Drive, Trowbridge
 Title: Proposed Site Layout

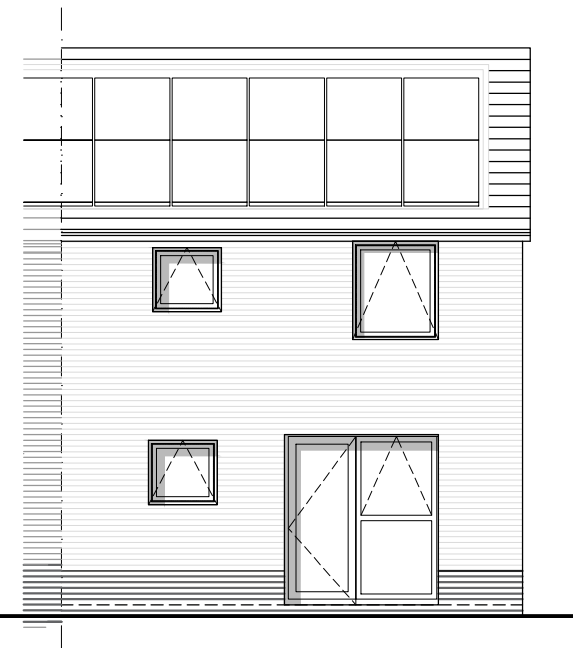
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 Drawn: PG
 Checked: BK



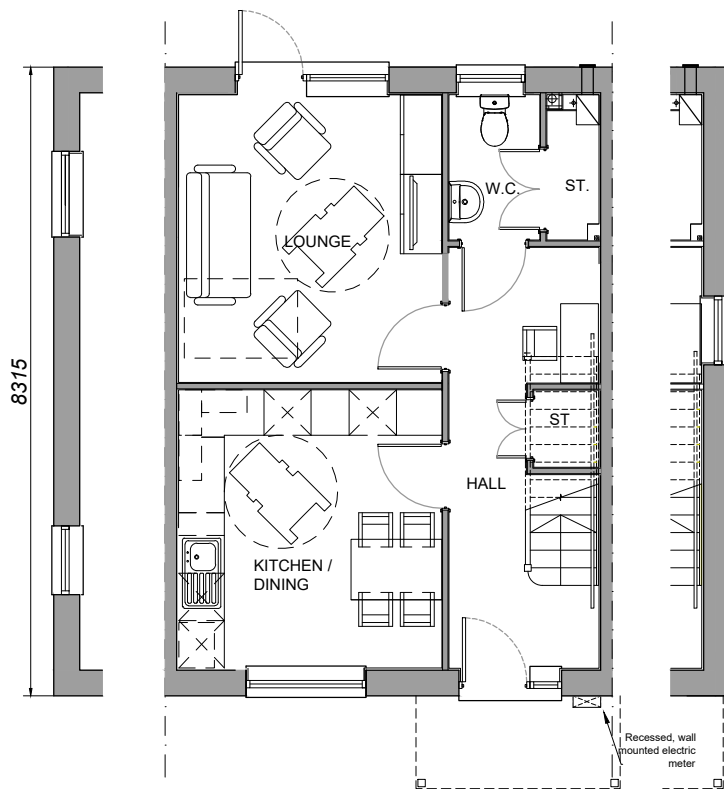
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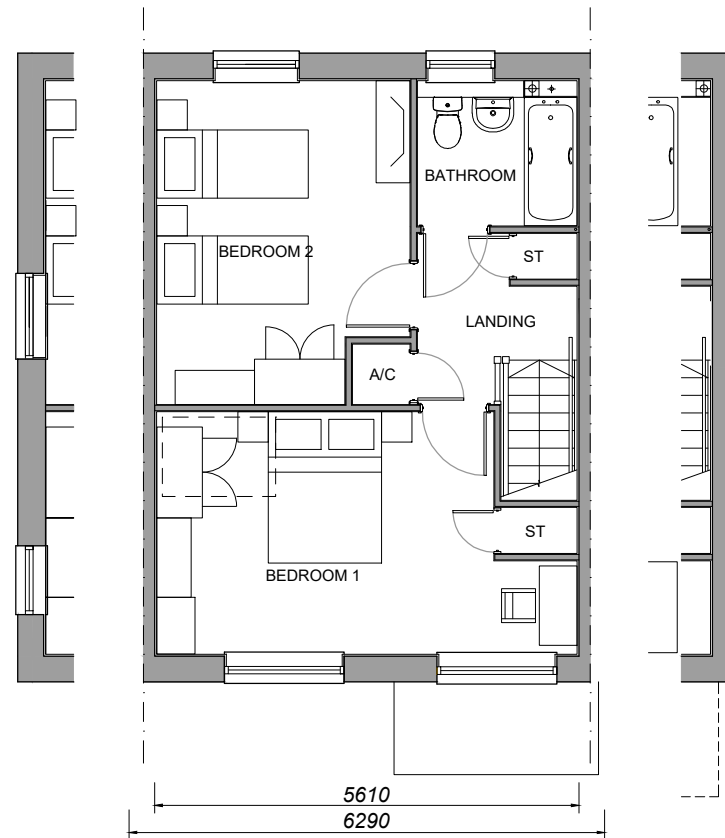
04 Side Elevation



05 Rear Elevation



01 Ground Floor Plan



02 First Floor Plan

Materials Schedule

1. Light Coloured Facing Brickwork (Spec. tbc)
2. Contrasting Facing Brickwork (Spec. tbc)
3. Dry Verge Continuous Profile in colour to match windows
4. UPVC Window System (opening mech. tbc)
5. UPVC Front Door System with Sidelight (colours vary per plot)
6. 'Duo' Format Concrete Tile. Colour: brown or grey (colour varies per plot).
7. Proprietary Balcony/Canopy PPC with steelwork guarding
8. Cast Stone Sill in colour to tone with brickwork
9. PV Roof Tile (TBC)



Figured dimensions and levels to be used. Any inaccuracies must be notified to the architect. Detail drawings and large scale drawings take precedence over smaller drawings.

Rev:	First Issue for PAC. 18.02.20 PG
A	PV added on roof. Issue for planning EB 02.07.20
B	Adjustment to internal layout and canopy. EB 04.09.20
C	Balcony removed from front elevation. EB 10.09.20

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PRELIMINARY	✓
PLANNING	
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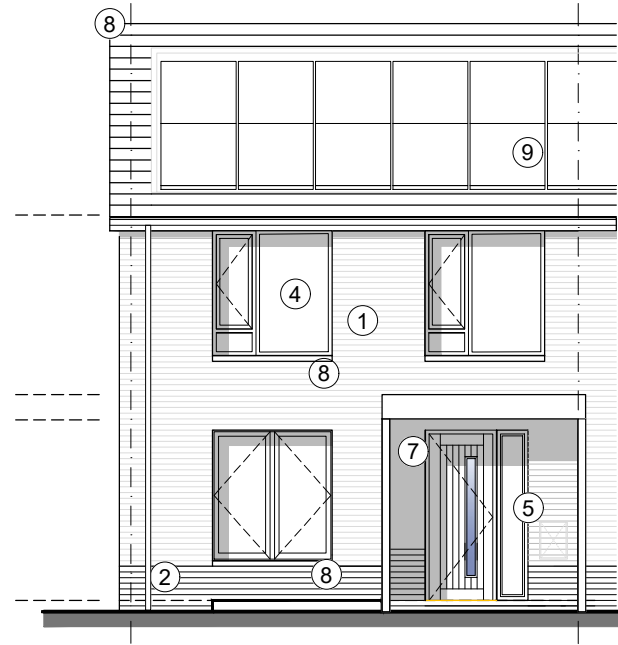
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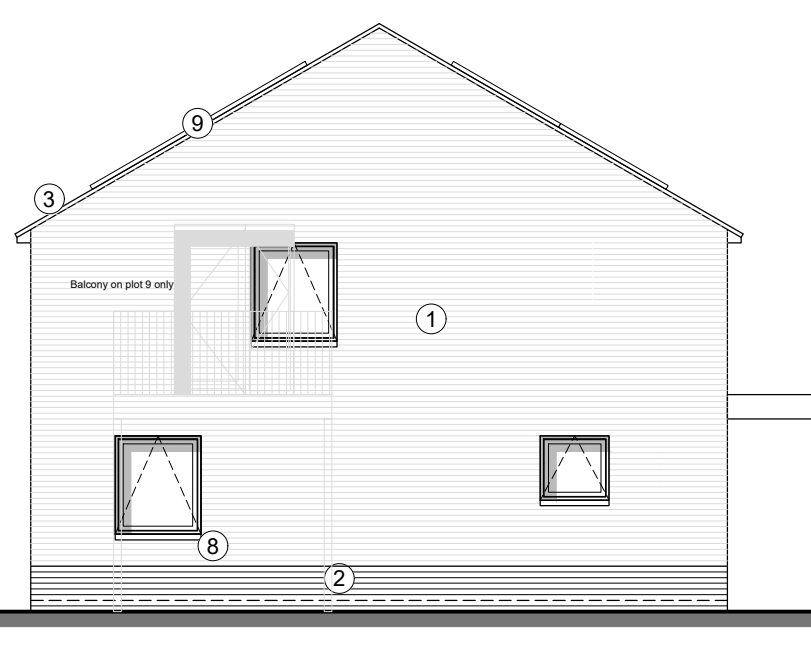
Contract: Cardiff Living
Residential Development at Brookfield Drive
Title: House Type A1 - Plans & Elevations

Drawing No. Rev.
18028 (05) 120 C

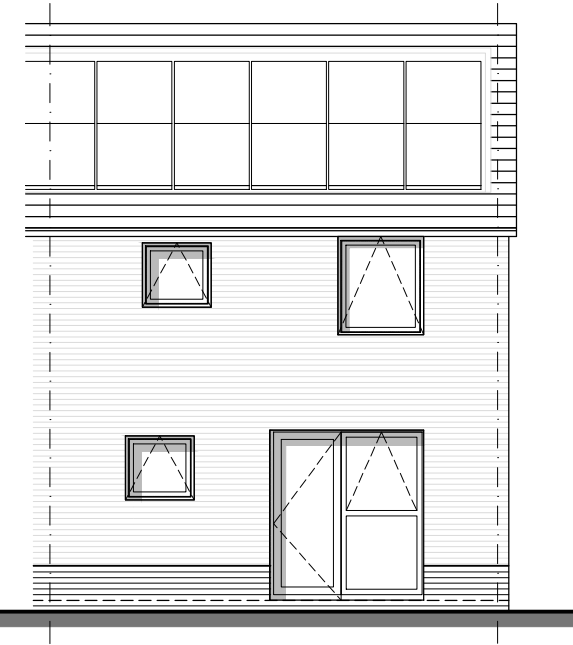
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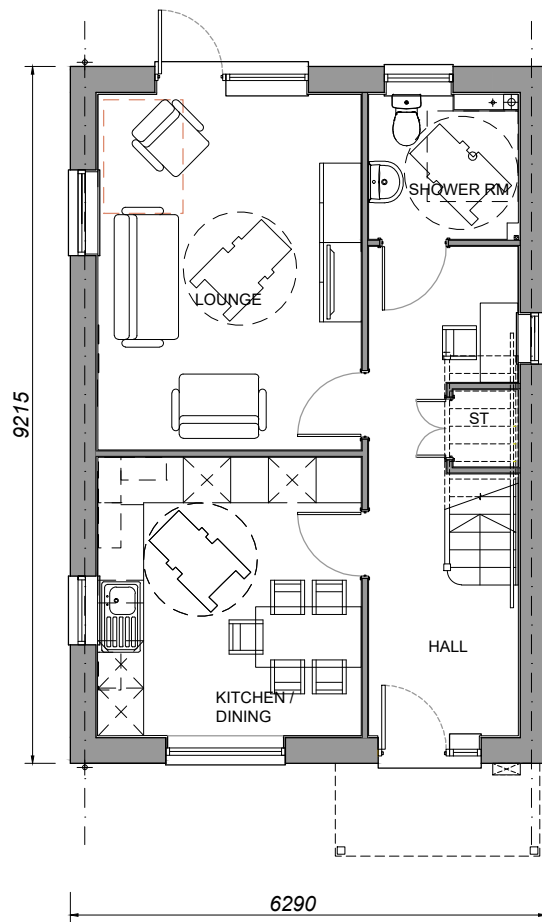
03 Front Elevation



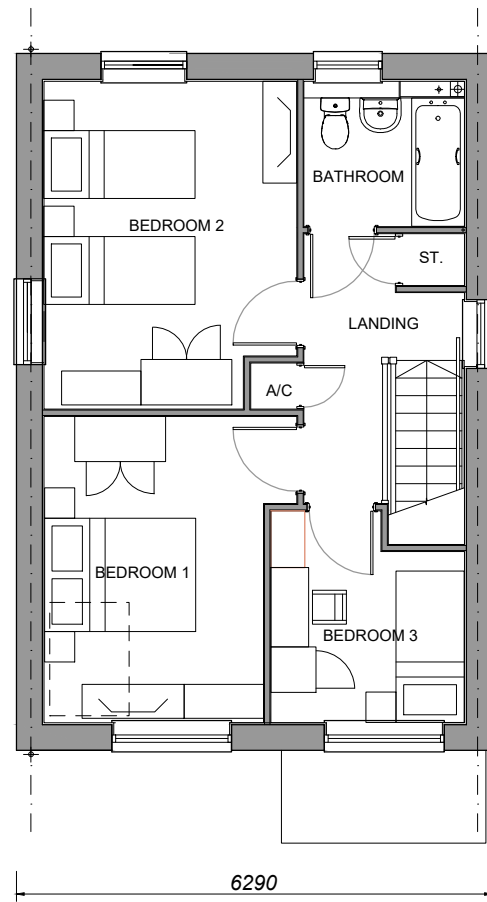
04 Side Elevation



05 Rear Elevation



01 Ground Floor Plan



01 First Floor Plan

Materials Schedule

1. Light Coloured Facing Brickwork (Spec. tbc)
2. Contrasting Facing Brickwork (Spec. tbc)
3. Dry Verge Continuous Profile in colour to match windows
4. UPVC Window System (opening mech. tbc)
5. UPVC Front Door System with Sidelight (colours vary per plot)
6. 'Duo' Format Concrete Tile. Colour: brown or grey (colour varies per plot).
7. Proprietary Balcony/Canopy PPC with steelwork guarding
8. Cast Stone Sill in colour to tone with brickwork
9. PV Roof Tile (TBC)



Figured dimensions and levels to be used. Any inaccuracies must be notified to the architect. Detail drawings and large scale drawings take precedence over smaller drawings.

Rev:	Description
-	First Issue for PAC. 20.02.20 PG
A	PV added on roof. Issue for planning EB 02.07.20
B	Adjustment to internal layout and canopy. EB 04.09.20

PRELIMINARY	✓
PLANNING	
DESIGN	
TENDER	
CONSTRUCTION	

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Contract: Cardiff Living
Residential Development at Brookfield Drive
Title: House Type A2 - Plans and Elevations

Drawing No. Rev.
18028 (05) 121 B

Scale: 1: 100 @ A3
Date: Dec 2019
Drawn: MB
Checked: -



03 South Elevation



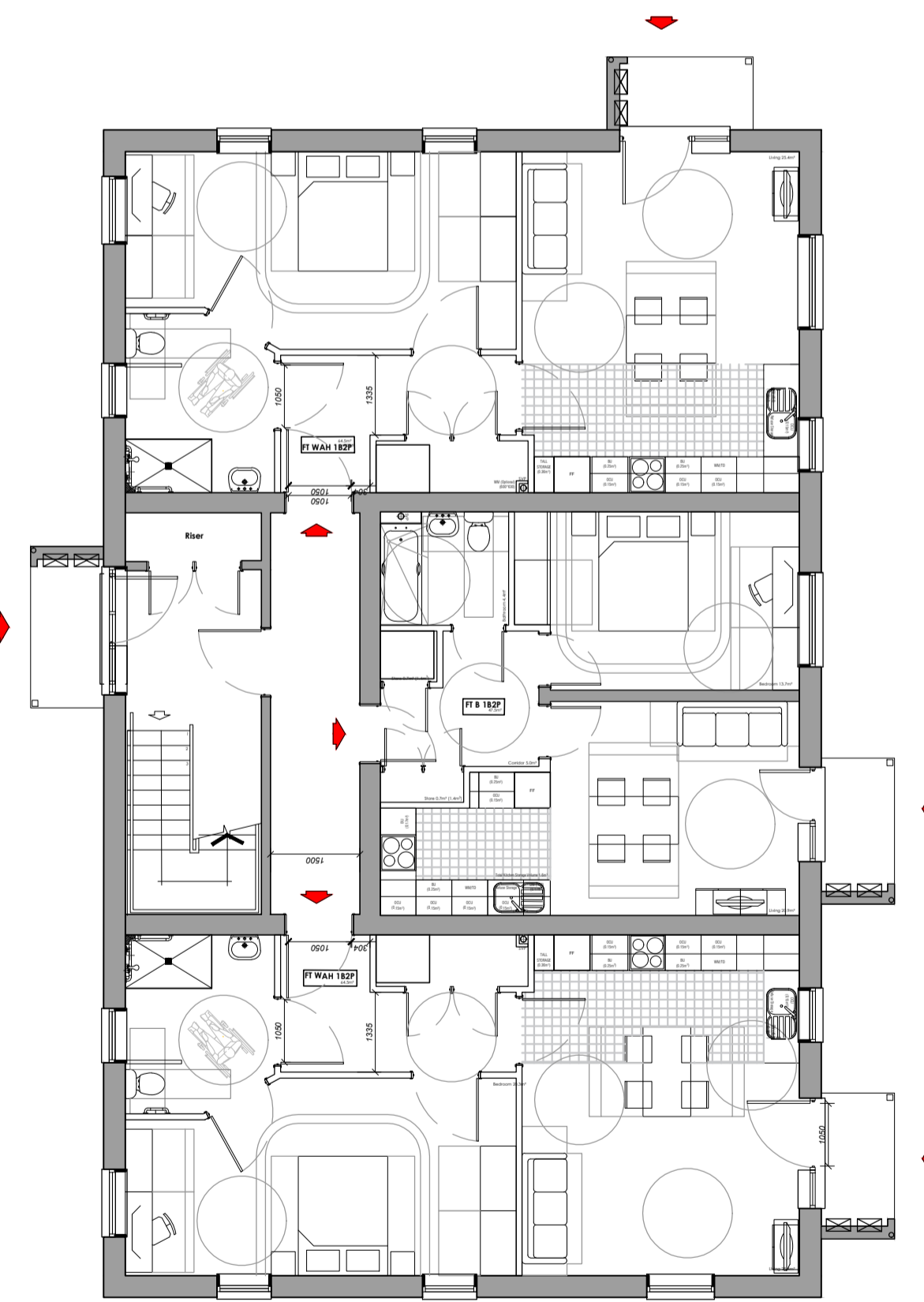
04 North Elevation



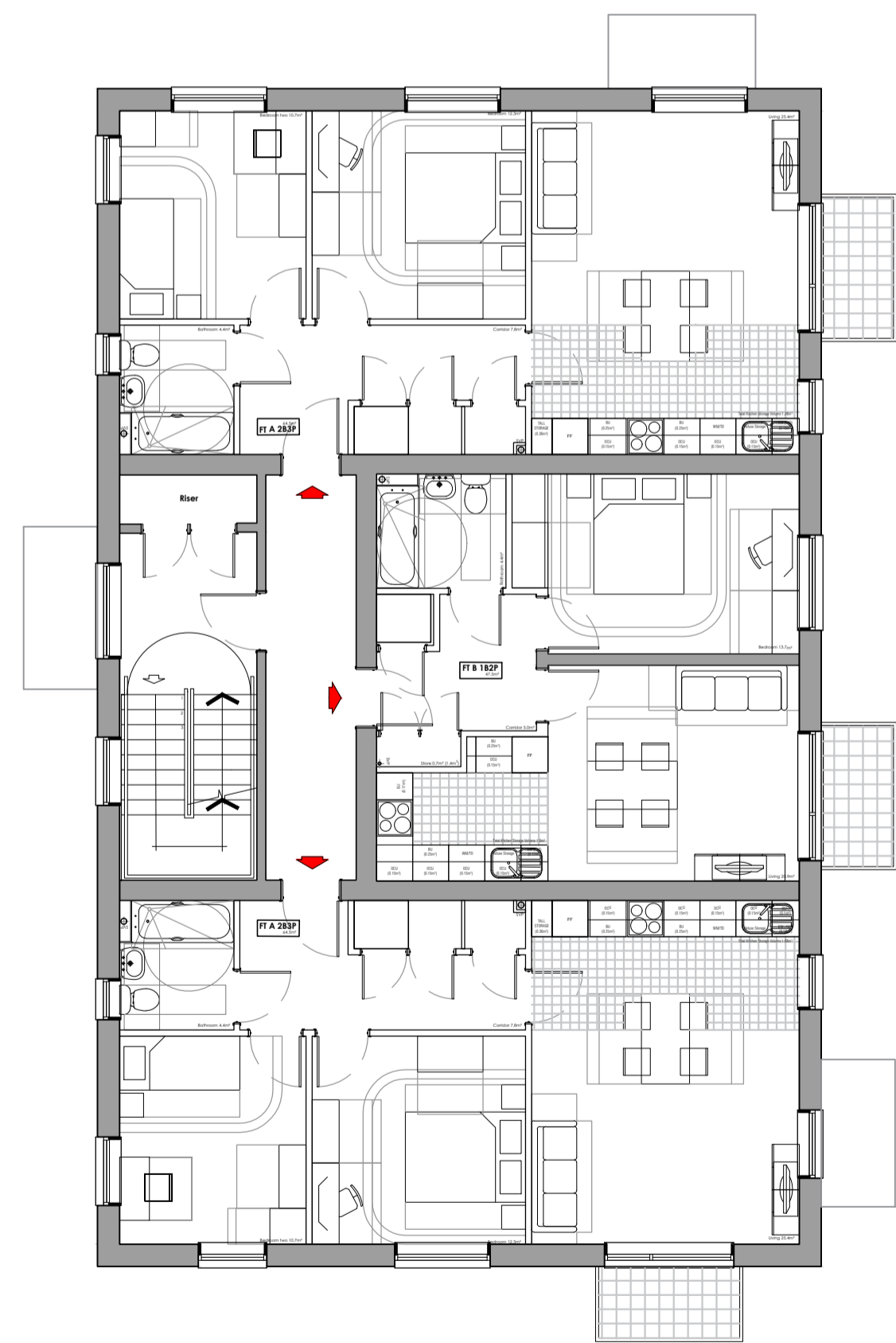
05 West Elevation



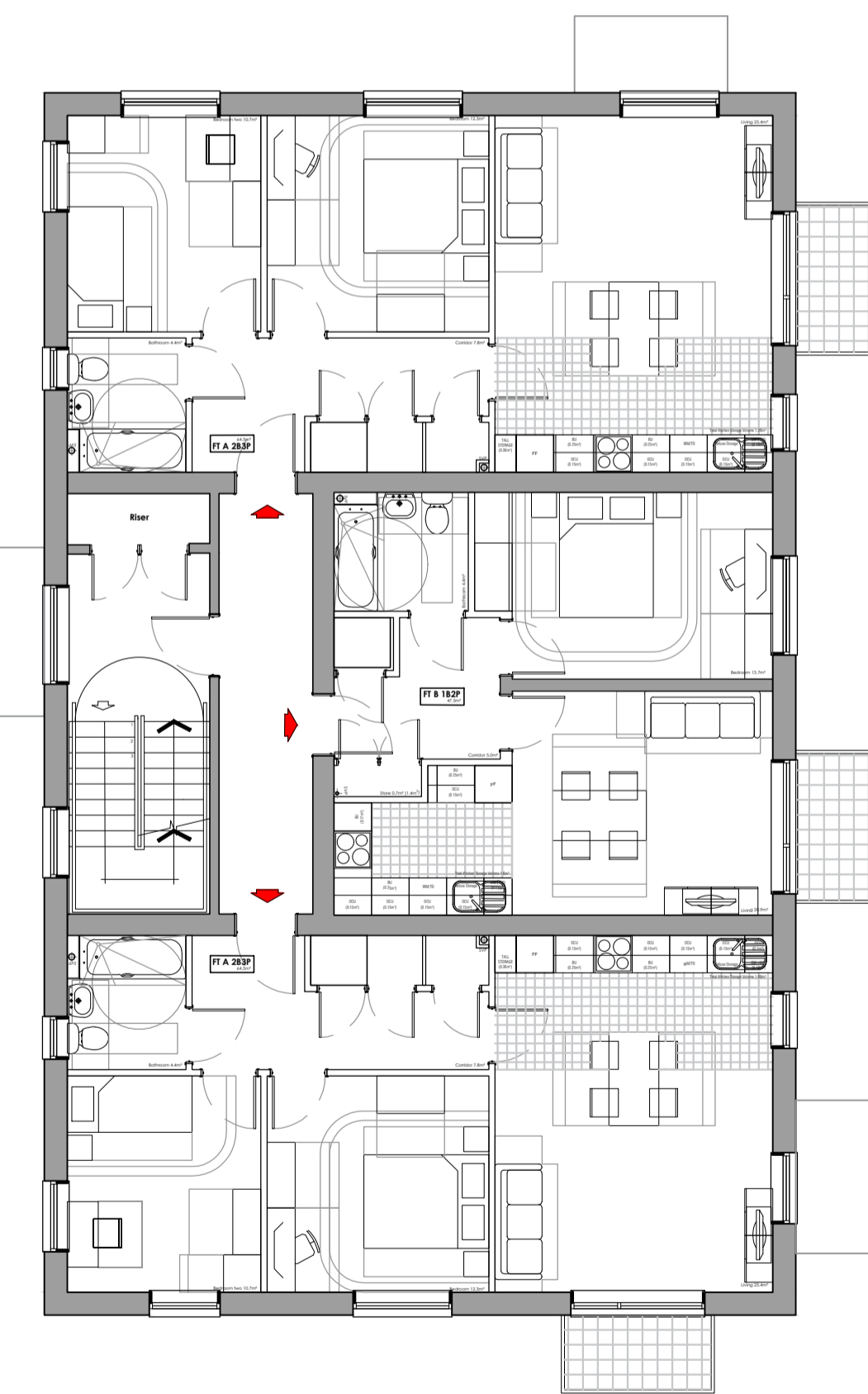
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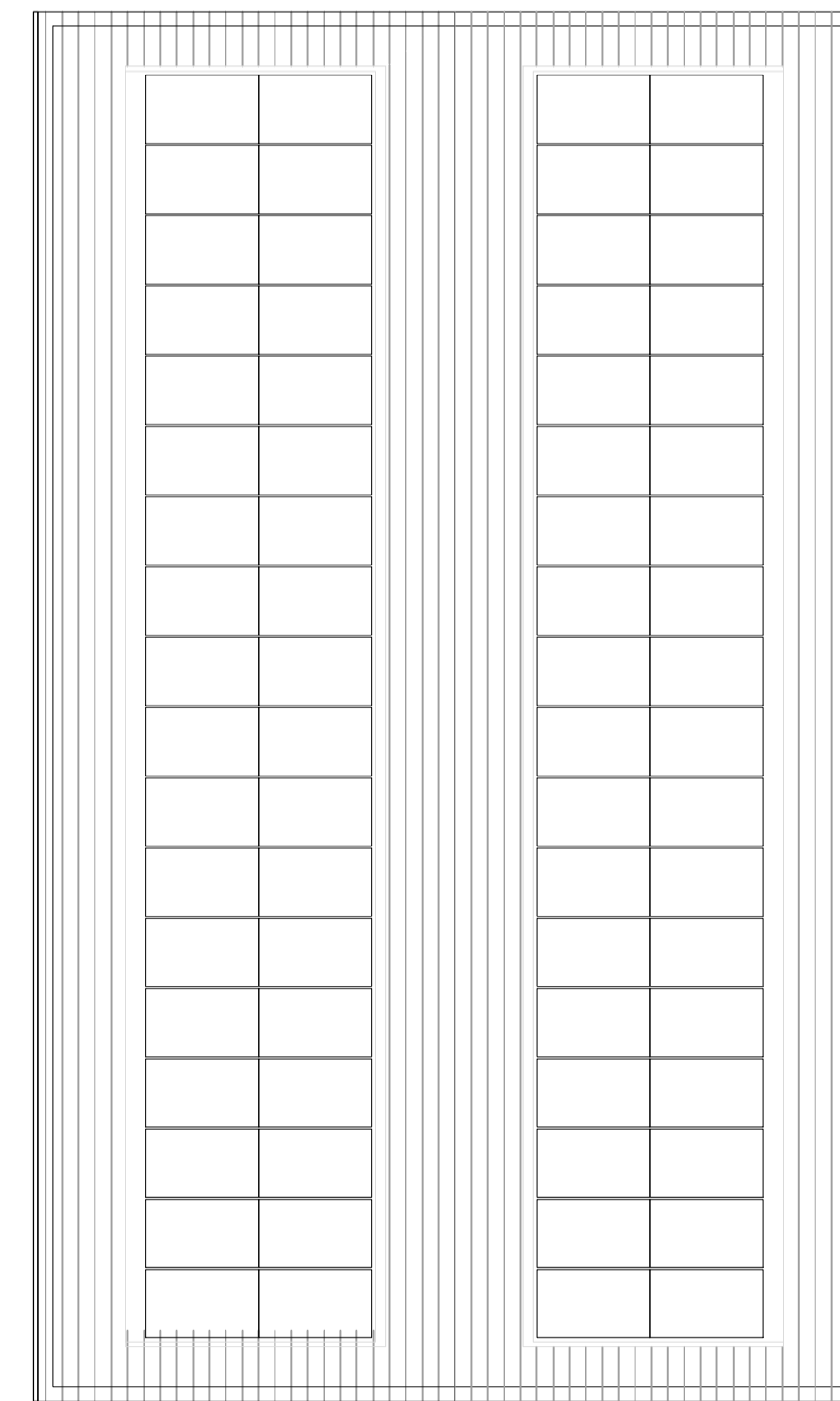
00 Ground Floor Plan



01 First Floor Plan



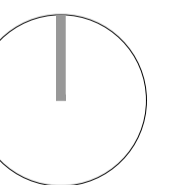
02 Second Floor Plan



07 Roof Plan

- Materials Schedule
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 2. Dark Colour Rough Cast Render System (Spec. tbc)
 3. Dry Varge Continuous Profile in colour to match windows
 4. UPVC Window System (opening mech. tbc)
 5. UPVC Front Door System with Sidelight (colours vary per plot)
 6. 'Duo' Format Concrete Tile. Colour: brown or grey (colour varies per plot)
 7. Proprietary Balcony/Canopy PPC with steelwork guarding
 8. Cast Stone Sill in colour to tone with brickwork
 9. PV Roof Tile (TBC)
 10. Contrasting Facing Brickwork (spec. tbc)

0 5m



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Rev:	Chk'd:	Rev:
-		First Issue for PAC 20.02.20
A		Window sizes and position changed EB 08.06.20
B		PV added on roof. Issue for planning EB 02.07.20

Chk'd:	Rev:

Chk'd:	Rev:

Chk'd:

PRELIMINARY	✓
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Drawing No. 18028 (05) 110 Rev. B

Contract: Cardiff Living

Residential Development at Brookfield Drive

Title: Proposed Apartment Block Plots 20-28 GAs

Scale: 1:100 @ A1
Date: December 2019
Drawn: CHT
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03 South Elevation



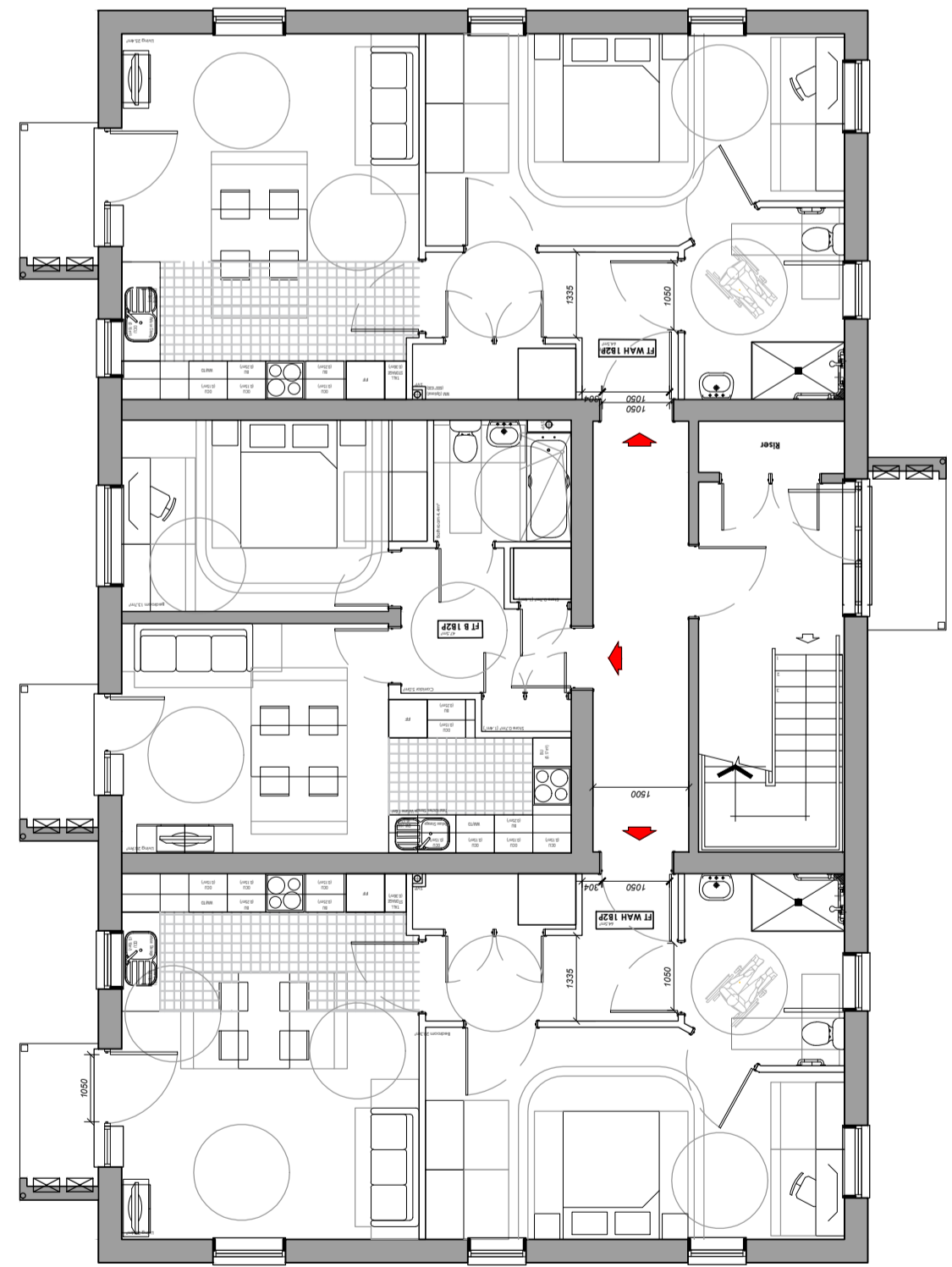
04 North Elevation



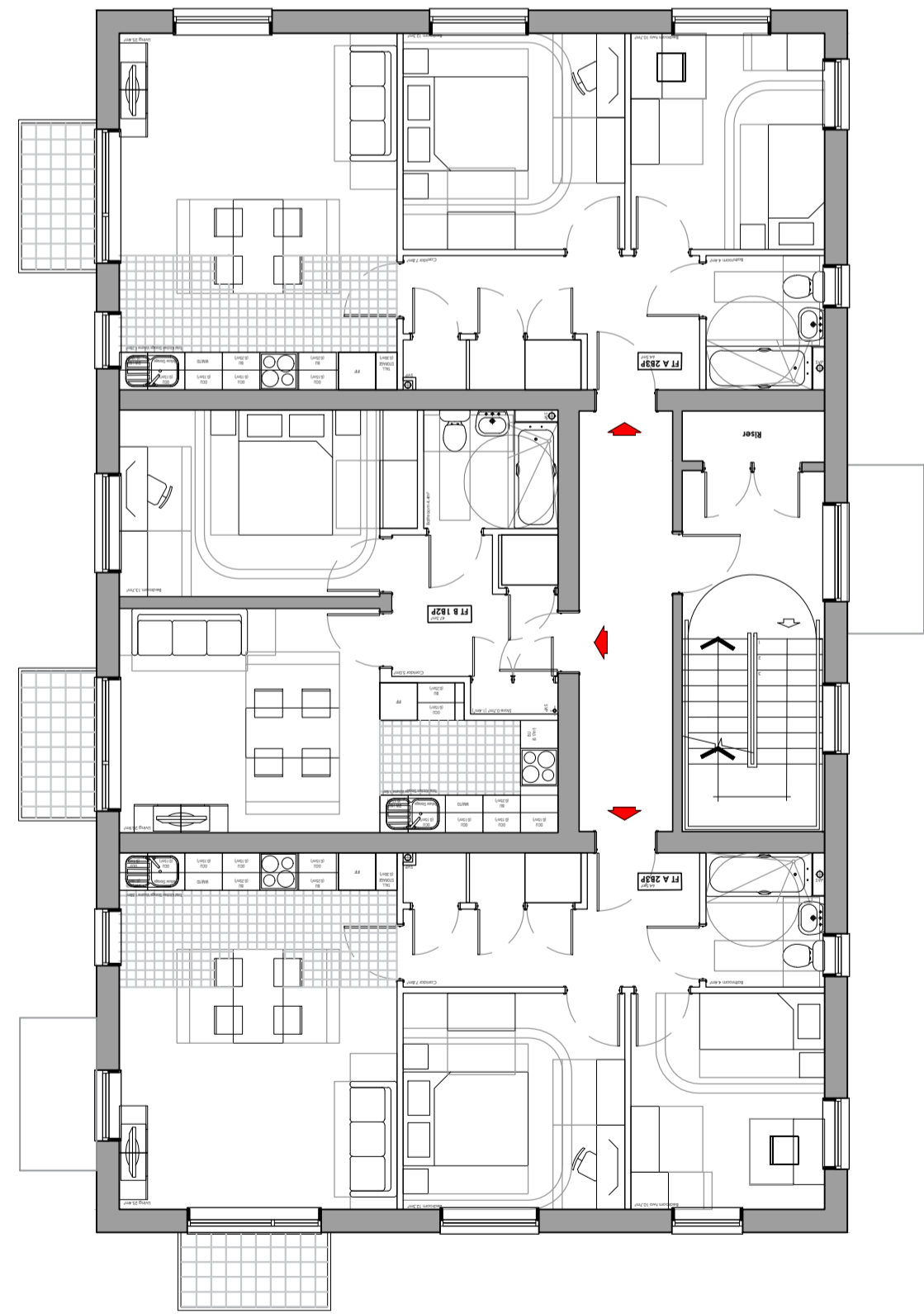
05 West Elevation



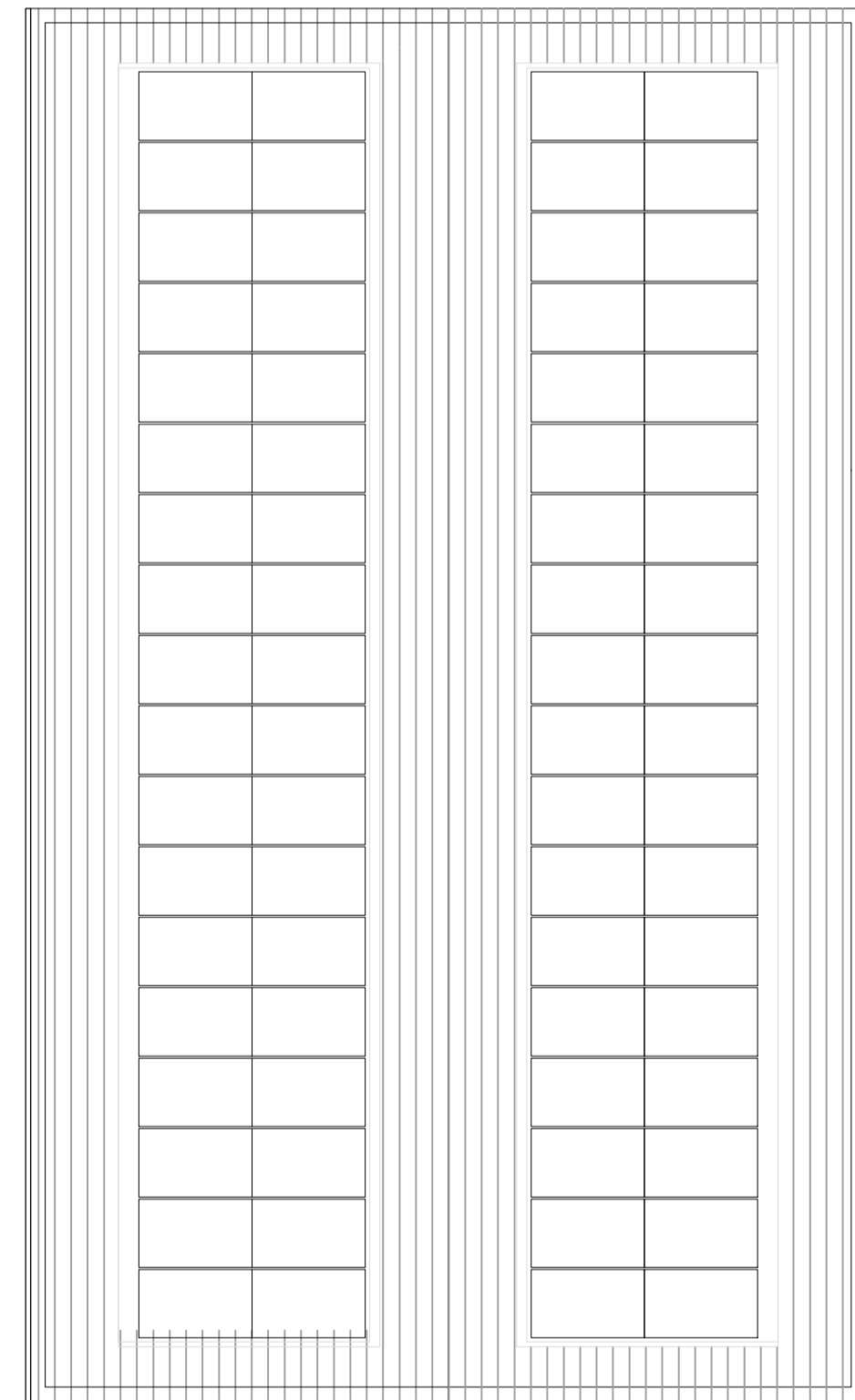
06 East Elevation



00 Ground Floor Plan



01 First Floor Plan

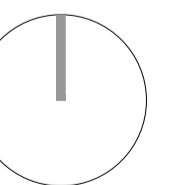


02 Roof Plan

Materials Schedule

1. Light Coloured Facing Brickwork (Spec. tbc)
2. Dark Colour Rough Cast Render System (Spec. tbc)
3. Dry Verge Continuous Profile in colour to match windows
4. UPVC Window System (opening mech. tbc)
5. UPVC Front Door System with Sidelight (colours vary per plot)
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8. Cast Stone Sill in colour to tone with brickwork
9. PV Roof Tile (TBC)
10. Contrasting Facing Brickwork (spec. tbc)

0 5m



Figured dimensions and levels to be used. Any inaccuracies must be notified to the architect. Detail drawings and large scale drawings take precedence over smaller drawings.

Rev:	Chk'd:	Rev:
-		First Issue for PAC 20.02.20
A		PV added on roof. Issue for planning EB 02.07.20

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TENDER	
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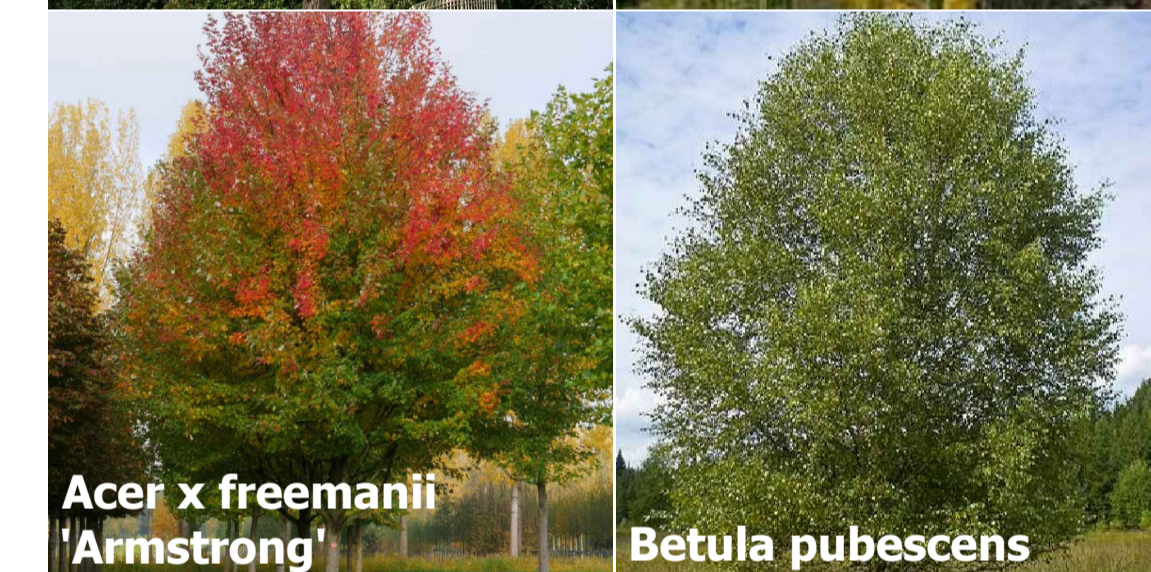
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Drawing No.	Rev.
18028 (05) 111	A

Contract: Cardiff Living
Residential Development at Brookfield Drive
Title: Proposed Apartment Block Plots 14-19 GAS

Scale: 1:100 @ A1
Date: December 2019
Drawn: CHT
Checked:..



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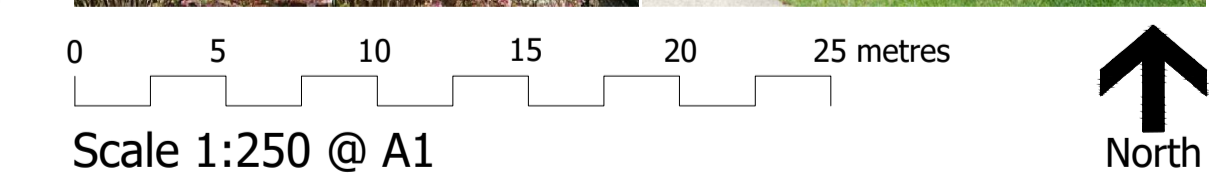
- Existing**
- Existing trees to be retained, showing the tree survey
 - Existing trees/vegetation to be removed

- Soft Landscape Proposals**
- Amenity grass
 - Tree planting. Trees in rain gardens subject to engineer's design
 - Hedge planting
 - Ornamental shrub planting area
 - Specimen shrubs

- Spring flowering bulbs
- Swales with planting at the base
- Rain garden with planting
- Wildflowers / annuals

- Hard landscape proposals**
- Highway: tarmac
 - Permeable block paving, ochre colour
 - Private parking: block paving
 - Timber bollard

- Boundaries**
- Rear garden boundaries: 1.8m high close boarded fence
 - 2.1m high facing brick wall
 - 1.2m high facing brick wall
 - 2.1m high railing
 - 2.1m high dwarf wall with railing
 - 1.2m high low railing



A108991-6 BD.LA 100-104[B].dwg 14 Sept 2020

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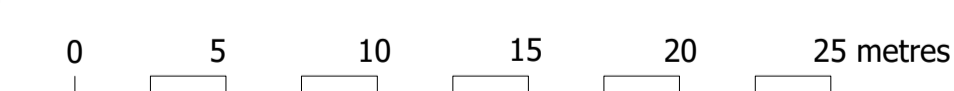
Brookfield Drive Soil volumes for BD.LA.103 proposed trees



Arboriculturalist to confirm how the drainage works will be adapted so as not to result in harm to the tree, through an Arboricultural Impact Assessment

Key

- Tree planting
- Black dash circles: approximate canopy spread of tree
- Pink dash: Soil volumes
- Drainage strategy
- Existing utilities



Scale 1:250 @ A1



A108991-6 BD.LA 100-104[B].dwg 14 Sept 2020

5th Floor, Longcross Court, 47 Newport Road, Cardiff CF24 0AD
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6'4 x 2'9 Trimetals Metal Bike Shed - Anthracite (1.95m x 0.88m)

Product code: BSD24813




10 Weeks
Delivery


25 Year
Guarantee

With
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Qty




10 Weeks
Delivery


25 Year
Guarantee

Bike Store Images




10 Weeks
Delivery


25 Year
Guarantee

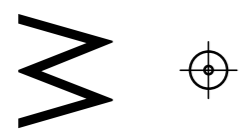



10 Weeks
Delivery


25 Year
Guarantee



A1



Powell Dobson Architects
 18028 Brookfield Drive
 SK025 cycle store
 Layout for planning
 1:20 @ A2
 14/09/20 EB

Mae'r dudalen hon yn cael ei adael yn wag yn fwrriadol

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 07/09/2020 and 11/09/2020

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
ADAMSDOWN								
PRAP/20/00045/15	05/08/2020	Hutchison 3G UK Ltd	PAT	LAND AT THE JUNCTION OF METEOR STREET AND MOIRA PLACE, ADAMSDOWN, CARDIFF	MONOPOLE AND EQUIPMENT CABINETS	08/09/2020	Permission Required	Other Consent Types
20/01575/MJR	12/08/2020	Crosslane Student Developments (Howard Gardens) Ltd	DOC	LAND AT HOWARD GARDENS, ADAMSDOWN, CARDIFF	RE-DISCHARGE OF CONDITION 19 (HARD AND SOFT LANDSCAPE WORKS) OF 17/02618/MJR	10/09/2020	Full Discharge of Condition	Discharge of Conditions
BUTETOWN								
20/01551/MJR	10/08/2020	Techniquet	DOC	TECHNIQUEST, STUART STREET, CARDIFF BAY, CARDIFF, CF10 5BW	RE-DISCHARGE OF CONDITION 15 (LANDSCAPING) OF 18/02513/MJR	11/09/2020	Full Discharge of Condition	Discharge of Conditions
CAERAU								
20/01377/DCH	20/07/2020	Gavin	HSE	4 HEATHER AVENUE, CAERAU, CARDIFF, CF5 5AH	DOUBLE STOREY REAR EXTENSION	10/09/2020	Permission be granted	Householder
20/01660/DCH	24/08/2020	Bishop	CLD	1 HAVERFORD WAY, CAERAU, CARDIFF, CF5 5EL	SINGLE STOREY REAR EXTENSION	08/09/2020	Permission be granted	Other Consent Types
CANTON								
20/01470/MJR	03/08/2020	Cardiff City Council	DOC	LAND OFF LECKWITH ROAD, CANTON, CARDIFF	DISCHARGE OF CONDITION 13 (HIGHWAY DESIGN IN RELATION TO PEDESTRIAN ACCESS) OF 20/00035/MJR	09/09/2020	Full Discharge of Condition	General Regulations

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01483/MJR	03/08/2020	Cardiff City Council	NMA	LAND OFF LECKWITH ROAD, CANTON, CARDIFF	AMENDMENTS AS FOLLOWS: 1. REVISION TO THE RED LINE BOUNDARY TO ACCOMMODATE A CHANGE IN LOCATION OF THE TIER 2 FOOTBALL PITCH AND THROWS AREA 2. THE 20CM RAISING OF SITE LEVEL AS SHOWN IN THE CROSS SECTIONS FOR THE APPLICATION SITE 3. MINOR SHIFT IN THE POSITION OF THE STANDS SHOWN ON THE TIER 2 FOOTBALL PITCH, TO ENSURE THAT THE PEDESTRIAN ROUTE THROUGH IS MORE DIRECT AND SAFER 4. MINOR ALTERATIONS TO FOOTPATHS THROUGH THE SITE PREVIOUSLY APPROVED UNDER 20/00035/MJR	09/09/2020	Permission be granted	General Regulations

20/01501/DCH	04/08/2020	Hughes	HSE	25 SYR DAVID'S AVENUE, CANTON, CARDIFF, CF5 1GH	SINGLE STOREY REAR EXTENSION	10/09/2020	Permission be granted	Householder
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CATHAYS

20/01158/MNR	24/07/2020	Cardiff University Estates Department	FUL	BUTE BUILDING, KING EDWARD VII AVENUE, CATHAYS PARK, CARDIFF, CF10 3NB	ERECTION OF TEMPORARY DECANT TEACHING SPACE TO CATER THE REDUCED CAPACITY OF BUTE BUILDING DURING CONSTRUCTION WORKS	09/09/2020	Permission be granted	Minor - Other Principal Uses
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/00713/MNR	20/03/2020	LaSalle Investment Management	LBC	22-24 MORGAN ARCADE, CITY CENTRE, CARDIFF, CF10 1AF	REMOVAL AND INFILL OF (PREVIOUSLY INSERTED) STAIRCASE, INSERTION OF CONSERVATION ROOFLIGHTS AND INTERNAL REFURBISHMENT. FORMATION OF INTERNAL OFFICE	09/09/2020	Permission be granted	Listed Buildings
20/00712/MNR	23/03/2020	LaSalle Investment Management	FUL	22-24 MORGAN ARCADE, CITY CENTRE, CARDIFF, CF10 1AF	CONVERSION OF FIRST FLOOR OF EXISTING RETAIL UNIT TO FORM OFFICES FROM THE EXISTING CREATIVE QUARTER	09/09/2020	Permission be granted	Minor - Offices (B1(a))
CREIGAU/ST FAGANS								
20/01276/DCH	07/07/2020	Slater	HSE	42 WHINBERRY WAY, ST FAGANS, CARDIFF, CF5 4QU	TWO STOREY SIDE EXTENSION AND SINGLE STOREY REAR EXTENSION	10/09/2020	Permission be granted	Householder
CYNCOED								
20/01395/DCH	22/07/2020	Leaman	HSE	10 NANT-FAWR ROAD, CYNCOED, CARDIFF, CF23 6JR	PROPOSED SINGLE STOREY SHED/SUMMER HOUSE TO REAR OF GARDEN	11/09/2020	Permission be granted	Householder
ELY								
PRAP/20/00040/01	31/07/2020	HUTCHISON 3G UK LTD	PAT	OUTSIDE 105-107 MICHAELSTON ROAD, ELY, CARDIFF	PROPOSED TELECOMMUNICATIONS INSTALLATION: PROPOSED 20.0M PHASE 8 MONOPOLE C/W WRAPROUND CABINET AT BASE AND ASSOCIATED ANCILLARY WORKS	10/09/2020	No Prior Approval required	Other Consent Types

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
FAIRWATER								
20/01381/DCH	22/07/2020	ARMSTRONG-BRO WN	HSE	24 CEDAR GROVE, PENTREBANE, CARDIFF, CF5 3RS	SINGLE STOREY REAR EXTENSION INCLUDING DECKING AREA	10/09/2020	Permission be granted	Householder
20/01475/DCH	30/07/2020	Canning	HSE	57 LLANBEDR ROAD, FAIRWATER, CARDIFF, CF5 3BU	SINGLE STOREY REAR EXTENSION AND SINGLE STOREY HOME OFFICE/STORE AT THE REAR OF THE GARDEN	11/09/2020	Permission be granted	Householder
20/00392/DCH	16/07/2020	Phillips	HSE	47 TANGMERE DRIVE, FAIRWATER, CARDIFF, CF5 2PQ	ADDITION OF A TWO STOREY SIDE EXTENSION	08/09/2020	Permission be granted	Householder
GRANGETOWN								
20/01171/MNR	13/07/2020	Farid	FUL	153 PENARTH ROAD, GRANGETOWN, CARDIFF, CF11 6JU	CHANGE OF USE OF FRONT ROOM INTO RETAIL USE (OCCASIONAL WEAR SALON) AND INSTALLATION OF NEW DISPLAY WINDOW TO REPLACE EXISTING BAY WINDOW	09/09/2020	Withdrawn by Applicant	Minor - Retail (A1-A3)
20/01433/MNR	31/07/2020	Imtiaz	FUL	COACH HOUSE REAR OF 35 CORPORATION ROAD, GRANGETOWN, CARDIFF, CF11 7AN	ERECTION OF ROOF CANOPY OF SIDE STORAGE SPACE	11/09/2020	Permission be granted	Minor - Retail (A1-A3)
20/01415/MNR	03/08/2020	Royal Mail	FUL	ROYAL MAIL HEAD POST OFFICE, 220-228 PENARTH ROAD, LECKWITH, CARDIFF, CF11 8TA	RETROSPECTIVE APPLICATION FOR THE INSTALLATION OF NEW EXTERNAL DUCTWORK VENTS ON THE EASTERN AND SOUTHERN ELEVATIONS	11/09/2020	Permission be granted	Other Consent Types

HEATH

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01598/DCH	19/08/2020	MCGRATH	NMH	48 ST BENEDICT CRESCENT, HEATH, CARDIFF, CF14 4DQ	RAISING OF ROOF OF SINGLE STOREY EXTENSION - PREVIOUSLY APPROVED UNDER 19/03138/DCH	10/09/2020	Permission be granted	Non Material Householder
20/01188/MNR	24/06/2020	Silver Crescent Estates Ltd.	DOC	220-221 KING GEORGE V DRIVE EAST, HEATH, CARDIFF, CF14 4ER	DISCHARGE OF CONDITION 8 (SITE ASSESSMENT) OF 13/02254/DCO	07/09/2020	Full Discharge of Condition	Discharge of Conditions
20/01628/MJR	21/08/2020	Wates Residential	NMA	FORMER HIGHFIELDS CENTRE, 18 ALLENSBANK ROAD, HEATH, CARDIFF	SUBMISSION OF REVISED CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN - PREVIOUSLY APPROVED UNDER 17/02464/MJR	11/09/2020	Permission be granted	Non Material Amendment

LISVANE

20/01371/MJR	17/07/2020	Edenstone Homes	DOC	LAND ADJACENT TO LISVANE ROAD, LISVANE, CARDIFF	DISCHARGE OF CONDITION 1 (MATERIALS) OF 20/00572/MJR	11/09/2020	Full Discharge of Condition	Discharge of Conditions
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LLANDAFF

20/01209/DCH	07/07/2020	Gauregui	HSE	6 VAUGHAN AVENUE, LLANDAFF, CARDIFF, CF5 2HR	DEMOLITION OF EXISTING REAR CONSERVATORY AND CONSTRUCTION OF TWO STOREY REAR EXTENSION	10/09/2020	Permission be granted	Householder
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LLANISHEN

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
19/01121/MJR	08/04/2019	Waterstone Homes	DOC	LAND AT LLANISHEN RUGBY CLUB, USK ROAD, LLANISHEN, CARDIFF, CF14 0NN	DISCHARGE OF CONDITIONS 3 (MATERIALS) AND 6 (BOUNDARY TREATMENT AND FINISHES PLAN OF 16/00711/MJR	10/09/2020	Full Discharge of Condition	Discharge of Conditions
20/01325/DCH	14/07/2020	Amos	HSE	22 USK ROAD, LLANISHEN, CARDIFF, CF14 0NN	SINGLE STOREY REAR EXTENSION	07/09/2020	Permission be granted	Householder
20/00876/MNR	27/04/2020	Dwr Cymru Welsh Water - Capital Delivery Alliance	LBC	GROUNDS OF LLANISHEN RESEVOIR, LISVANE ROAD, LISVANE, CARDIFF, CF14 0SA	OPERATIONAL ABANDONMENT OF THE SCREENING CHAMBER AND REPAIRS TO THE ASSOCIATED LIFTING GANTRY FOR SAFE RETENTION IN-SITU	08/09/2020	Permission be granted	Listed Buildings
20/01557/DCH	10/08/2020	Randall-Smith	NMH	21 EVEREST WALK, LLANISHEN, CARDIFF, CF14 5AX	REDUCE THE SIZE OF THE PLANNED EXTENSION BY REDUCING THE PLANNED FOOTPRINT BY A THIRD - PREVIOUSLY APPROVED UNDER 19/02600/DCH	11/09/2020	Permission be granted	Non Material Householder
PENYLAN								
20/01361/DCH	22/07/2020	Soady	HSE	35 AXMINSTER ROAD, ROATH, CARDIFF, CF23 5AR	DEMOLITION OF EXISTING EXTENSION AND NEW GROUND FLOOR REAR EXTENSION	07/09/2020	Permission be granted	Householder
A/20/00039/MNR	30/06/2020	Shearer	ADV	J SAINSBURY PLC, COLCHESTER AVENUE, PENYLAN, CARDIFF, CF23 9AN	NEW SIGNS	07/09/2020	Permission be granted	Advertisements

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01152/DCH	18/06/2020	Mrs Jane Jones	HSE	11 TY-GWYN ROAD, PENYLAN, CARDIFF, CF23 5JF	SINGLE STOREY REAR EXTENSION AND REPLACEMENT DECKING	08/09/2020	Permission be granted	Householder

PLASNEWYDD

20/01560/MNR	10/08/2020	OSTA	FUL	5 ALBANY ROAD, ROATH, CARDIFF, CF24 3LH	CHANGE OF USE FROM CHARITY SHOP TO LAUNDRETTE AND TAILOR (SUI GENERIS)	11/09/2020	Permission be granted	Minor - Other Principal Uses
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PONTPRENNAU/ST MELLONS

20/01422/MNR	31/07/2020	Donovan	FUL	SPIRE CARDIFF HOSPITAL, CROESCADARN ROAD, PONTPRENNAU, CARDIFF, CF23 8XL	RETROSPECTIVE APPLICATION FOR THE INSTALLATION OF A TEMPORARY PORTAKABIN BUILDING TO BE USED AS COVID-19 TESTING UNIT	08/09/2020	Permission be granted	Minor - Other Principal Uses
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20/01590/MJR	13/08/2020	Persimmon Homes (East Wales)	DOC	PHASE 5, LAND EAST OF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS, CARDIFF	DISCHARGE OF CONDITIONS 3 (DRAINAGE), 12 (BIRD AND BAT BOXES), 13 (ECOLOGY PROTECTION), 14 (ECOLOGY MITIGATION), 28 (PHASING), AND 31 (HIGHWAY DESIGN) OF 13/00578/DCO	09/09/2020	Full Discharge of Condition	Discharge of Conditions
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20/01392/DCH	21/07/2020	Mr Lewis	HSE	THE BURROW, CHURCH ROAD, OLD ST MELLONS, CARDIFF, CF3 6YA	ERECTION OF A CONSERVATORY TO REAR ELEVATION	10/09/2020	Permission be granted	Householder
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RADYR

20/01144/MNR	19/06/2020	norman	OUT	Y WERN, MAIN ROAD, MORGANSTOWN, CARDIFF, CF15 8LJ	NEW TWO STOREY DWELLING, DRIVE, GARAGE AND GARDEN	10/09/2020	Withdrawn by Applicant	Minor - Dwellings (C3)
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
RIVERSIDE								
20/01599/MNR	13/08/2020	Walrond	DOC	COACH HOUSE REAR OF 95 PONTCANNA STREET, PONTCANNA, CARDIFF, CF11 9HS	DISCHARGE OF CONDITION 2 (REDEVELOPMENT CONTRACT) OF 19/02998/MNR	09/09/2020	Full Discharge of Condition	Discharge of Conditions
20/01623/DCH	19/08/2020	Yates	NMH	2 RYDER STREET, PONTCANNA, CARDIFF, CF11 9BR	TO USE IMITATION SASH WINDOWS IN DORMER EXTENSION WINDOW AS OPPOSED TO REAL TIMBER WINDOWS - PREVIOUSLY APPROVED UNDER 19/02026/DCH	09/09/2020	Permission be granted	Non Material Householder
RUMNEY								
20/01688/MJR	25/08/2020	Cardiff Council and Wates Residential	DOC	EASTERN HIGH SCHOOL, NEWPORT ROAD, RUMNEY, CARDIFF, CF3 3XG	DISCHARGE OF CONDITION 26 (BENCH DETAILS) OF 18/02519/MJR	11/09/2020	Full Discharge of Condition	General Regulations
SPLOTT								
20/00949/MNR	19/05/2020	GeoTrio Developments LTD	FUL	REAR OF 74 WALKER ROAD, SPLOTT, CARDIFF, CF24 2EN	PROPOSED DEMOLITION OF EXISTING BUILDING AND CONSTRUCTION OF 2NO. SELF CONTAINED FLATS, CYCLE AND REFUSE FACILITIES	08/09/2020	Permission be granted	Minor - Dwellings (C3)
WHITCHURCH/TONGWYNLAIS								
20/01558/DCH	12/08/2020	Evans	NMH	23 HEOL-Y-FORLAN, WHITCHURCH, CARDIFF, CF14 1AX	INCLUSION OF FRONT DORMER - PREVIOUSLY APPROVED UNDER 19/02231/DCH	09/09/2020	Planning Permission be refused	Non Material Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01277/DCH	06/07/2020	Sanders	HSE	84 BISHOP'S ROAD, WHITCHURCH, CARDIFF, CF14 1LY	SINGLE STOREY REAR/SIDE RETURN EXTENSION WITH LIGHTWELL AND FOLDING DOORS TO REAR ELEVATION	10/09/2020	Permission be granted	Householder

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 14/09/2020 and 18/09/2020

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
BUTETOWN								
SC/20/00009/MJ	20/08/2020	Natural Resources Wales	SCR	HINKLEY POINT C, SOMERSET	REQUEST FOR OBS ON NRW SCREENING OPINION REQUEST – Hinkley Point C Disposal Licence	17/09/2020	Response Sent	Other Consent Types
20/00862/MJR	20/05/2020	Fusion Cardiff Capital Quarter LLP	FUL	ZENITH, HERBERT STREET, ATLANTIC WHARF, CARDIFF, CF10 4DG	TEMPORARY CHANGE OF USE OF UP TO 401 ROOMS FROM STUDENT ACCOMMODATION (SUI GENERIS) TO PROFESSIONAL SERVICED APARTMENTS (USE CLASS C1)	18/09/2020	Permission be granted	Minor - Dwellings (C3)
CAERAU								
20/01695/MJR	27/08/2020	Encon Construction	DOC	SITE OF FORMER ATC CENTRE, CALDICOT ROAD, CAERAU, CARDIFF, CF5 5EH	DISCHARGE OF CONDITION 6 (LANDSCAPING) OF 17/01438/MJR	16/09/2020	Full Discharge of Condition	Discharge of Conditions
CATHAYS								
20/01094/MNR	09/06/2020	Ministry of Justice	DOC	LAW COURTS, KING EDWARD VII AVENUE, CATHAYS PARK, CARDIFF, CF10 3NL	DISCHARGE OF CONDITIONS 4 (WORKS SPECIFICATION) AND 5 (METHOD STATEMENT) OF 19/03232/MNR	14/09/2020	Full Discharge of Condition	Discharge of Conditions
20/01467/MNR	29/07/2020	Legal & General Investment Management	DOC	HODGE HOUSE, GUILDHALL PLACE, CITY CENTRE, CARDIFF, CF10 1EB	DISCHARGE OF CONDITION 4 (PHOTOGRAPHIC RECORD) OF 20/00784/MNR	16/09/2020	Full Discharge of Condition	Discharge of Conditions

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01484/MJR	31/07/2020	Rightacres Property Company Limited	DOC	SITE OF FORMER MARLAND HOUSE AND NCP CAR PARK, CENTRAL SQUARE, CARDIFF	PARTIAL DISCHARGE OF CONDITION 29 (REMEDIATION AND VERIFICATION) OF 19/02140/MJR	17/09/2020	Partial Discharge of Condition (s)	Discharge of Conditions

CYNCOED

20/00694/DCH	23/03/2020	Elmer	NMH	13 THE FAIRWAY, CYNCOED, CARDIFF, CF23 6RF	NON-MATERIAL AMENDMENT FOR THE REDUCTION IN WIDTH OF REAR EXTENSION AND TO ALTER THE ROOF TO HAVE A FLAT ROOF TO ENABLE DORMER WINDOW TO BE FITTED TO THE FIRST FLOOR - PREVIOUSLY APPROVED UNDER 18/01712/DCH	17/09/2020	Permission be granted	Non Material Householder
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GABALFA

20/01523/DCH	06/08/2020	Major	CLD	59 AUSTRALIA ROAD, GABALFA, CARDIFF, CF14 3DA	REAR DORMER ROOF EXTENSION	17/09/2020	Permission be granted	Other Consent Types
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GRANGETOWN

A/20/00054/MNR08/09/2020	AHMED	ADV	27-31 CLARE ROAD, GRANGETOWN, CARDIFF, CF11 6QP	FASCIA SIGN	17/09/2020	Permission be granted	Advertisements
A/20/00034/MNR14/05/2020	Alight Media	ADV	ROYAL MAIL HEAD POST OFFICE, 220-228 PENARTH ROAD, LECKWITH, CARDIFF, CF11 8TA	INSTALLATION OF SINGLE ILLUMINATED 48-SHEET DIGITAL ADVERTISEMENT DISPLAY	18/09/2020	Planning Permission be refused	Advertisements

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01507/MJR	03/08/2020	Vale of Glamorgan Council	RFO	CAMBRIA HOUSE, VALE SPORTS, PENARTH ROAD, PENARTH	REQUEST FOR OBSERVATIONS IN RESPECT OF SUBMISSION TO VALE OF GLAMORGAN FOR AN APPLICATION TO VARY CONDITIONS 4, 7,13 AND 17 OF PERMISSION2018/0131 9/FUL FOR RETENTION OF EXISTING B1 OFFICES AND D2 LEISURE/SPORTS AREA, WITH CHANGES TO PARKING LAYOUT AND THE ADDITION OF USE FOR A RANGE OF EVENTS	17/09/2020	Raise Objections	Other Consent Types

A/20/00032/MNR07/07/2020	Starbucks Coffee Company	ADV	PART OF LAND AT WM MORRISONS, INTERNATIONAL DRIVE, GRANGETOWN, CARDIFF, CF11 0JP	INSTALLATION OF 1NO. WORDMARK FASCIA SIGNAGE, 1NO. PYLON DISK DRIVE THRU ARROW SIGN, 2NO. LOGO DISK SIGN, 1NO. DRIVE THRU EXIST ARROW SIGN, 1NO. DRIVE THRU MONUMENT SIGN, 1NO. DRIVE THRU MENU BOARD SIGN AND 1NO. DRIVE THRU DIRECTIONAL ARROW SIGN	15/09/2020	Permission be granted	Advertisements
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01356/MJR	17/07/2020	PMB&SC Ltd	VAR	CARDIFF BAY YACHT CLUB, FERRY ROAD, GRANGETOWN, CARDIFF, CF11 0JL	EXTEND THE TIME PERIOD FOR IMPLEMENTING PERMISSION 15/02088/MJR AS SPECIFIED BY THE CONDITION IMPOSED UNDER THE NON MATERIAL AMENDMENT NUMBERED 20/01211/MJR	15/09/2020	Permission be granted	Renewals and Variation of Conditions

HEATH

20/01520/DCH	06/08/2020	Yeo	CLD	10 ST BENEDICT CRESCENT, HEATH, CARDIFF, CF14 4DQ	HIP TO GABLE LOFT EXTENSION WITH REAR DORMER	15/09/2020	Permission be granted	Other Consent Types
20/01522/DCH	06/08/2020	Davies	CLD	8 ST BENEDICT CRESCENT, HEATH, CARDIFF, CF14 4DQ	HIP TO GABLE LOFT EXTENSION WITH REAR DORMER	15/09/2020	Permission be granted	Other Consent Types
20/01424/DCH	27/07/2020	Williams	HSE	28 ST GOWAN AVENUE, HEATH, CARDIFF, CF14 4JX	DEMOLITION OF EXISTING GARAGE AND CONSTRUCTION OF GARDEN BUILDING AND BOUNDARY WALL. ERECTION OF SHED TO THE SIDE OF THE DWELLING APPROXIMATELY 2.2 METRES IN HEIGHT	18/09/2020	Permission be granted	Householder
20/00919/DCH	03/08/2020	Cornwell	HSE	59 HOMELANDS ROAD, BIRCHGROVE, CARDIFF, CF14 1UH	REAR DOUBLE STOREY EXTENSION	18/09/2020	Withdrawn by Applicant	Householder

LLANDAFF

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01045/MJR	11/06/2020	Taylor Wimpey Plc	DOC	BROADCASTING HOUSE, LLANTRISANT ROAD, LLANDAFF, CARDIFF, CF5 2YQ	DISCHARGE OF CONDITIONS 7 (DEMOLITION MANAGEMENT PLAN), 9 (SITE WASTE MANAGEMENT PLAN), 18 (CONTAMINATION), 19 (REMEDIATION SCHEME) AND 31 (NOISE ASSESSMENT) OF 15/00799/MJR	16/09/2020	Full Discharge of Condition	Discharge of Conditions

LLANISHEN

20/01593/DCH	13/08/2020	Bowden	HSE	55 NORWOOD, LLANISHEN, CARDIFF, CF14 9DE	REPLACE AND ENLARGE REAR CONVERSVATORY	15/09/2020	Permission be granted	Householder
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PENYLAN

20/01391/DCH	21/07/2020	Mr Robert Sharratt	HSE	17 WATERLOO ROAD, ROATH, CARDIFF, CF23 5AD	SINGLE STOREY REAR EXTENSION AND BOUNDARY WALL ALTERATIONS	18/09/2020	Permission be granted	Householder
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PLASNEWYDD

20/01316/MNR	09/07/2020	Tucker	DOC	17 WELLFIELD PLACE, ROATH, CARDIFF, CF24 3PD	DISCHARGE OF CONDITION 1 (CYCLE STORAGE) OF ENFORCEMENT NOTICE APPEAL DECISION APP/Z6815/C/20/3246579	16/09/2020	Full Discharge of Condition	Discharge of Conditions
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PONTPRENNAU/ST MELLONS

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01597/DCH	14/08/2020	Turner	NMH	29 CRANBOURNE WAY, PONTRENNAU, CARDIFF, CF23 8SL	NON-MATERIAL AMENDMENT FOR ALTERATIONS TO REAR DORMER WINDOWS PREVIOUSLY APPROVED UNDER 20/00532/DCH AND ADDITIONAL ROOFLIGHT IN THE FRONT ELEVATION.	15/09/2020	Permission be granted	Non Material Householder

20/00931/MNR	19/05/2020	Actoris Developments	DOC	LAND AT CHURCH ROAD, OLD ST MELLONS	DISCHARGE OF CONDITION 11 (SOFT LANDSCAPING) OF 19/02819/MNR	17/09/2020	Full Discharge of Condition	Discharge of Conditions
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A/20/00042/MNR	21/07/2020	Carvalho	ADV	FORMER STRATSTONE, AVENUE INDUSTRIAL PARK, CROESCADARN CLOSE, PONTRENNAU, CARDIFF, CF23 8HE	INSTALLATION OF FACE LIT TESLA LETTERS FIXED TO BUILDING FACADE, NEW MONUMENT SIGN AND NEW FLAGS	15/09/2020	Permission be granted	Advertisements
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RHIWBINA

20/01530/DCH	06/08/2020	Bryant	HSE	122 HEOL LEWIS, RHIWBINA, CARDIFF, CF14 6QE	REMOVAL OF EXISTING REAR SUN ROOM AND CONSTRUCTION OF SINGLE STOREY SUN ROOM EXTENSION TO REAR AND SIDE	15/09/2020	Permission be granted	Householder
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20/01500/DCH	03/08/2020	Smith	HSE	33 CAE'R WENALLT, PANTMAWR, CARDIFF, CF14 7HP	REMOVAL OF EXISTING REAR CONSERVATORY AND CONSTRUCTION OF A SINGLE STOREY EXTENSION	15/09/2020	Permission be granted	Householder
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20/01426/DCH	27/07/2020	Shahid	HSE	32 ASH GROVE, WHITCHURCH, CARDIFF, CF14 1BE	TWO STOREY SIDE EXTENSION	18/09/2020	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01485/DCH	31/07/2020	Evans	HSE	136 HEOL LLANISHEN FACH, RHIWBINA, CARDIFF, CF14 6RG	REAR SINGLE STOREY EXTENSION AND REAR DORMER ROOF EXTENSION	18/09/2020	Permission be granted	Householder
PRNO/20/00009/20/08/2020		CORAY DEVELOPMENTS	DEM	238 PANTBACH ROAD, RHIWBINA, CARDIFF, CF14 6AX	DEMOLITION OF VACANT TWO STOREY BUILDING WITH SINGLE STOREY EXTENSIONS	17/09/2020	No Prior Approval required	Other Consent Types
RIVERSIDE								
20/01294/DCH	21/07/2020	Da Silva	HSE	176 LLANDAFF ROAD, PONTCANNA, CARDIFF, CF11 9PX	FLAT TO LOW PITCH ROOF CONVERSION TO REAR SINGLE STOREY EXTENSION AND MINOR ALTERATIONS	17/09/2020	Permission be granted	Householder
20/00937/MNR	22/05/2020	Davies	LBC	107 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF11 9AG	ESSENTIAL REPAIR WORK TO ROOF, GUTTERING AND EXTERNAL RENDER/STONE-WORK, INCLUDING INTERNAL REFURBISHMENT AND ALTERATION TO BOUNDARY WALL/GATES	18/09/2020	Permission be granted	Listed Buildings
20/01519/DCH	06/08/2020	Melhuish	CLD	2 FAIRLEIGH ROAD, PONTCANNA, CARDIFF, CF11 9JT	REAR DORMER LOFT EXTENSION	15/09/2020	Permission be granted	Other Consent Types
RUMNEY								
20/01685/DCH	26/08/2020	Hurley	NMH	53 TY-MAWR ROAD, RUMNEY, CARDIFF, CF3 3BS	ALTERATIONS TO THE LENGTHS OF THE PROPOSED EXTENSION - PREVIOUSLY APPROVED UNDER 20/00621/DCH	15/09/2020	Permission be granted	Non Material Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
SPLOTT								
20/01449/MNR	31/07/2020	Russell	FUL	9 SANQUHAR STREET, SPLOTT, CARDIFF, CF24 2AA	CHANGE OF USE FROM SINGLE DWELLING TO TWO FLATS WITH MINOR ALTERATIONS	15/09/2020	Withdrawn by Applicant	Minor - Dwellings (C3)
WHITCHURCH/TONGWYNLAIS								
20/01397/MJR	21/07/2020	Rhondda Cynon Taff County Borough Council	RFO	LAND TO THE SOUTH OF CARDIFF ROAD A470 NORTHBOUND SLIP ROAD AND THE TAFFS VALE RAILWAY LINE, CF15 9JN	DEVELOPMENT OF A RAIL LINK, UTILITIES RAMP STRUCTURE AND ASSOCIATED INFRASTRUCTURE	16/09/2020	Raise No Objection	Other Consent Types
20/01261/DCH	03/07/2020	Cooke	HSE	24 COURT ROAD, WHITCHURCH, CARDIFF, CF14 1HN	FRONT ENTRANCE PORCH AND PITCHED ROOF TO EXISTING GARAGE	17/09/2020	Permission be granted	Householder

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 21/09/2020 and 25/09/2020

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
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ADAMSDOWN

20/01496/MJR	31/07/2020	Crosslane Student Developments (Howard Gardens) Ltd	DOC	LAND AT HOWARD GARDENS, ADAMSDOWN, CARDIFF	DISCHARGE OF CONDITION 20 (INTEGRATION OF LANDSCAPING) OF 17/02618/MJR	25/09/2020	Full Discharge of Condition	Discharge of Conditions
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BUTETOWN

20/01321/MJR	10/07/2020	East Bay Cardiff Limited	NMA	1 EAST BAY CLOSE, ATLANTIC WHARF, CARDIFF, CF10 4BA	AMENDMENTS AS FOLLOWS: FIRE TENDER ACCESS TO MAIN COURTYARD; PROVISION OF A BIN STORE; REVISION OF PARKING ARRANGEMENT TO PROVIDE EVCP AND MOTORCYCLE STORAGE; RELOCATION OF SPORTS PITCHES AND PROVISION OF STORAGE CONTAINERS; RELOCATION OF CYCLE STORE; AMENDMENTS TO SUB-STATION AND PLANT ROOM; INCORPORATE PHOTOVOLTAICS TO ROOF TOP - PREVIOUSLY APPROVED UNDER 19/02864/MJR	25/09/2020	Withdrawn by Applicant	Non Material Amendment
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01569/MJR	11/08/2020	Wales & West Housing	NMA	PHOENIX INDUSTRIAL & ENGINEERING SUPPLIES, CLARENCE ROAD, BUTETOWN, CARDIFF, CF10 5FA	AMENDMENTS TO CONDITIONS 2, 3, 4, 5, 9, 11 AND 20 TO REWORD AND EXCLUDE FROM THE DEMOLITION PHASE - PREVIOUSLY APPROVED UNDER 15/01753/MJR	25/09/2020	Permission be granted	Non Material Amendment

CAERAU

20/01602/DCH	17/08/2020	Holland	CLD	17 THE SANCTUARY, CAERAU, CARDIFF, CF5 4RW	SINGLE STOREY REAR EXTENSION	21/09/2020	Permission be granted	Other Consent Types
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CATHAYS

20/01436/MNR	28/07/2020	Cardiff & County Club	LBC	CARDIFF AND COUNTY CLUB, WESTGATE STREET, CITY CENTRE, CARDIFF, CF10 1DA	REPAIRS TO EXISTING BALCONY AND ERECTION OF NEW RAINWATER DOWN PIPE	24/09/2020	Permission be granted	Listed Buildings
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CREIGAU/ST FAGANS

20/01601/MJR	04/09/2020	Redrow Homes	NMA	PLOT 8, LAND SOUTH OF PENTREBANE ROAD, CARDIFF	PLOT 8 TO BE AMENDED FROM OXFORD TO SHREWSBURY HOUSE TYPE - PREVIOUSLY APPROVED UNDER 17/00414/MJR	22/09/2020	Permission be granted	Non Material Amendment
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CYNCOED

20/01471/DCH	30/07/2020	Carrington	HSE	29 WESTMINSTER CRESCENT, CYNCOED, CARDIFF, CF23 6SE	GROUND FLOOR REAR EXTENSION AND REAR DORMER LOFT EXTENSION, INCLUDING RAISING OF RIDGE	24/09/2020	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01479/DCH	10/08/2020	Faria	NMH	4 EVERARD WAY, LAKESIDE, CARDIFF, CF23 6DP	INCREASE TO THE SIZE OF THE SINGLE STOREY REAR EXTENSION - PREVIOUSLY APPROVED UNDER 19/02203/DCH	24/09/2020	Withdrawn by Applicant	Non Material Householder

ELY

20/01222/DCH	12/08/2020	MILLER	HSE	4 NANT Y PEPRA, ELY, CARDIFF, CF5 4UB	SIDE AND FIRST FLOOR GARAGE EXTENSION	22/09/2020	Planning Permission be refused	Householder
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FAIRWATER

20/01621/DCH	20/08/2020	Bowen	CLD	30 WELLWRIGHT ROAD, FAIRWATER, CARDIFF, CF5 3ED	SINGLE STOREY SIDE EXTENSION	21/09/2020	Permission be granted	Other Consent Types
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HEATH

20/01117/MNR	16/06/2020	Silver Crescent Estates Ltd.	DOC	220-221 KING GEORGE V DRIVE EAST, HEATH, CARDIFF, CF14 4ER	DISCHARGE OF CONDITION 20 (CONSTRUCTION MANAGEMENT SCHEME) OF 13/02254/DCO	21/09/2020	Full Discharge of Condition	Discharge of Conditions
20/01343/DCH	16/07/2020	Sleat	HSE	87 KING GEORGE V DRIVE NORTH, HEATH, CARDIFF, CF14 4EG	FRONT AND REAR DORMER LOFT EXTENSIONS	21/09/2020	Planning Permission be refused	Householder
20/01582/DCH	13/08/2020	Roberts	HSE	20 HEATHWOOD GROVE, HEATH, CARDIFF, CF14 3RD	SINGLE STOREY REAR EXTENSION AND SUN TERRACE	22/09/2020	Permission be granted	Householder
20/01075/MNR	10/06/2020	Edwards	FUL	32 ST ANTHONY ROAD, HEATH, CARDIFF, CF14 4DJ	CHANGE OF USE FROM A2 TO A3 - CAFE / COFFEE SHOP	24/09/2020	Permission be granted	Minor - Retail (A1-A3)

LISVANE

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01682/MJR	26/08/2020	The Carlyle Trust	NMA	LAND ADJACENT TO LISVANE ROAD, LISVANE, CARDIFF	MINOR AMENDMENTS TO SITE LAYOUT AND LANDSCAPING PROPOSALS, ELEVATIONS, BOUNDARY TREATMENTS AND MATERIALS PREVIOUSLY APPROVED UNDER 11/01300/DCO	22/09/2020	Permission be granted	Non Material Amendment
20/00767/MNR	18/05/2020	Hoban	FUL	LAND ADJACENT TO THE FARTHINGS, LISVANE ROAD, LISVANE	CONSTRUCTION OF DETACHED TWO STOREY DWELLING	24/09/2020	Permission be granted	Minor - Dwellings (C3)
LLANDAFF								
20/01445/DCH	29/07/2020	Ms Siwan Evans	HSE	104 PENCISELY ROAD, LLANDAFF, CARDIFF, CF5 1DQ	REMOVAL OF GLAZED CONSERVATORY TO REAR AND CONSTRUCTION OF SINGLE STOREY EXTENSION	21/09/2020	Permission be granted	Householder
PRAP/20/00042/20	29/07/2020	Cornerstone and Telefonica UK Ltd	PAT	JUNCTION OF DANESCOURT WAY AND LLANTRISANT ROAD, LLANDAFF, CARDIFF	INSTALLATION OF A 20M SLIM-LINE COLUMN SUPPORTING 6 NO. ANTENNAS, 2 NO. TRANSMISSION DISHES, A GPS MODULE AND 3 NO. REMOTE RADIO UNITS (RRUS), WITH 2 NO. EQUIPMENT CABINETS AT THE BASE AND ANCILLARY DEVELOPMENT	21/09/2020	Permission Required	Other Consent Types
20/01329/DCH	14/07/2020	HARRIS	HSE	50 BISHOPS WALK, LLANDAFF, CARDIFF, CF5 2HE	SINGLE STOREY SIDE AND REAR EXTENSION AND HIP TO GABLE LOFT EXTENSION WITH REAR DORMER	22/09/2020	Permission be granted	Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01384/MNR	21/07/2020	Williams	FUL	LAND ADJACENT TO 14 MARSHALL CLOSE, DANESCOURT, CARDIFF, CF5 2QQ	PROPOSED ERECTION OF ATTACHED DWELLING	24/09/2020	Permission be granted	Minor - Dwellings (C3)

LLANISHEN

20/01425/DCH	28/07/2020	Morris	HSE	5 BRAMBLEWOOD CLOSE, LLANISHEN, CARDIFF, CF14 9DN	CONSTRUCTION OF A SINGLE STOREY PORCH/ENTRANCE LOBBY TO FRONT ELEVATION	24/09/2020	Permission be granted	Householder
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PENTYRCH

20/00967/DCH	20/07/2020	Phillips	HSE	18 CEFN PENUEL, PENTYRCH, CARDIFF, CF15 9TB	REAR SINGLE STOREY EXTENSION	22/09/2020	Permission be granted	Householder
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PENYLAN

20/00335/MJR	13/02/2020	Wates Residential Ltd	DOC	FORMER HOWARDIAN ADULT LEARNING CENTRE, HAMMOND WAY, PENYLAN, CARDIFF	DISCHARGE OF CONDITIONS 3 (GAS PROTECTION MEASURES), 4 (CONTAMINATION), 5 (REMEDIATION SCHEME AND VERIFICATION PLAN), 12 (SOIL RESOURCE SURVEY AND PLAN), 16 (NOISE), 17 (CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN), 21 (BIODIVERSITY BOXES), 26 (WRITTEN SCHEME OF HISTORIC ENVIRONMENT MITIGATION), 30 (DESIGN OF SQUARE) AND 31 (DESIGN AND SURFACING MATERIALS DETAILS) OF 18/02500/MJR	22/09/2020	Full Discharge of Condition	Discharge of Conditions
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
PLASNEWYDD								
PRAP/20/00044/04/08/2020	04/08/2020	Hutchison 3G UK Ltd	PAT	LAND ON THE WEST SIDE OF CITY ROAD, ROATH, CARDIFF	MONOPOLE AND EQUIPMENT CABINETS	22/09/2020	Permission Required	Other Consent Types
20/01654/MNR	24/08/2020	LATIF	FUL	60 ALBANY ROAD, ROATH, CARDIFF, CF24 3RR	CHANGE OF USE OF GROUND FLOOR FROM ESTATE AGENT'S OFFICE TO A3 RESTAURANT AND TAKE AWAY WITH PROVISION OF EXTRACTION SYSTEM	24/09/2020	Withdrawn by Applicant	Minor - Retail (A1-A3)
PONTPRENNAU/ST MELLONS								
20/01278/MNR	02/07/2020	Newport City Council	RFO	LITTLE MAES Y CROCHAN, DRUIDSTONE ROAD, OLD ST MELLONS, CARDIFF, CF3 6XE	DEMOLITION OF EXISTING DWELLING AND ERECTION OF NEW DETACHED DWELLING (AFFECTING PUBLIC RIGHT WAY 400/69/1)	21/09/2020	Raise No Objection	Other Consent Types
20/01712/MNR	07/09/2020	Bryant	DOC	LAND AT CHURCH ROAD, OLD ST MELLONS, CARDIFF	DISCHARGE OF CONDITIONS 7 (SURFACE WATER DRAINAGE) & 8 (HIGHWAY IMPROVEMENTS) OF 19/02819/MNR	22/09/2020	Full Discharge of Condition	Discharge of Conditions
RADYR								
20/01487/DCH	03/08/2020	Parfitt	HSE	LOWER BARN, RADYR FARM ROAD, RADYR, CARDIFF, CF15 8EL	ERECTION OF TWO TIMBER CONSERVATORIES	21/09/2020	Permission be granted	Householder
20/01622/DCH	19/08/2020	Roll	CLD	66 HEOL ISAF, RADYR, CARDIFF, CF15 8DZ	SINGLE STOREY SIDE EXTENSION	21/09/2020	Permission be granted	Other Consent Types

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/01639/DCH	21/08/2020	Jelley	HSE	1 DE CLARE DRIVE, RADYR, CARDIFF, CF15 8FY	RETENTION OF SINGLE STOREY BREAKFAST ROOM EXTENSION ONTO EXISTING LIVING ROOM SPACE	22/09/2020	Permission be granted	Householder

RHIWBINA

20/01037/DCH	21/07/2020	Lanchbury	HSE	53 HEOL-Y-COED, RHIWBINA, CARDIFF, CF14 6HQ	SINGLE STOREY FRONT AND REAR EXTENSIONS WITH ENLARGED TERRACE AND FIRST FLOOR SIDE EXTENSION WITH TERRACE	21/09/2020	Permission be granted	Householder
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20/01577/DCH	21/08/2020	Provis	NMH	80 PANTMAWR ROAD, PANTMAWR, CARDIFF, CF14 7TD	ALTERATION TO FIRST FLOOR WINDOW OVERLOOKING MANOR WAY TO BE CLEAR GLASS WITH TOP OPENERS AND SIDE OPENING - PREVIOUSLY APPROVED UNDER 19/02670/DCH	24/09/2020	Permission be granted	Non Material Householder
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RIVERSIDE

20/01291/DCH	23/07/2020	MORGAN	HSE	23 SEVERN GROVE, PONTCANNA, CARDIFF, CF11 9EN	MINOR REVISIONS TO DORMER EXTENSION PREVIOUSLY APPROVED UNDER 19/02856/DCH	22/09/2020	Permission be granted	Householder
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20/01155/DCH	17/06/2020	Thomas	HSE	37 LLANFAIR ROAD, PONTCANNA, CARDIFF, CF11 9PZ	SINGLE STOREY REAR EXTENSION	25/09/2020	Permission be granted	Householder
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RUMNEY

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
20/00777/MJR	14/07/2020	Wates Residential and Cardiff Council	DOC	FORMER EASTERN HIGH SCHOOL, NEWPORT ROAD, RUMNEY, CARDIFF, CF3 3XG	PARTIAL DISCHARGE OF CONDITION 13 (LANDSCAPING) AND FULL DISCHARGE OF CONDITIONS 18 (ECOLOGICAL ENHANCEMENT) AND 23 (MEANS OF ENCLOSURE) OF 18/02519/MJR	21/09/2020	Full Discharge of Condition	General Regulations

20/01466/DCH	31/07/2020	Roberts	HSE	2 MARCHWOOD CLOSE, RUMNEY, CARDIFF, CF3 3LZ	TWO STOREY SIDE EXTENSION INCLUDING NEW VEHICULAR CROSSOVER AND DRIVE TO THE FRONT AND FENCE TO GARDEN AT THE REAR	21/09/2020	Permission be granted	Householder
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SPLOTT

20/01458/DCH	18/08/2020	TARFDAR	CLD	21 TWEEDSMUIR ROAD, TREMORFA, CARDIFF, CF24 2QY	GROUND FLOOR REAR EXTENSION	21/09/2020	Permission be granted	Other Consent Types
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PRAP/20/00041/18/07/2020	18/07/2020	HUTCHISON 3G UK LTD	PAT	JUNCTION OF MUIRTON ROAD AND TWEEDSMUIR ROAD, TREMORFA, CARDIFF	PROPOSED TELECOMMUNICATIONS INSTALLATION: PROPOSED 18.0M PHASE 8 MONOPOLE C/W WRAPROUND CABINET AT BASE AND ASSOCIATED ANCILLARY WORKS	23/09/2020	No Prior Approval required	Other Consent Types
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TROWBRIDGE

20/01358/DCH	15/07/2020	Reddivari	HSE	7 CLOS ELPHAN, ST MELLONS, CARDIFF, CF3 2AE	CONSTRUCTION OF REAR GARDEN ROOM/ORANGERY WITH FIRST FLOOR BALCONY AND FRONT PORCH	22/09/2020	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
WHITCHURCH/TONGWYNLAIS								
20/01528/DCH	06/08/2020	Govier	CLD	22 ST FRANCIS ROAD, WHITCHURCH, CARDIFF, CF14 1AW	SINGLE STOREY REAR EXTENSION	21/09/2020	Permission be granted	Other Consent Types
20/00834/MNR	19/05/2020	STONE	FUL	66 PARK ROAD, WHITCHURCH, CARDIFF, CF14 7BR	GROUND FLOOR AND FIRST FLOOR REAR EXTENSIONS HIP-TO-GABLE AND DORMER ROOF EXTENSIONS AND THE CONVERSION INTO 4 FLATS.	24/09/2020	Permission be granted	Minor - Dwellings (C3)